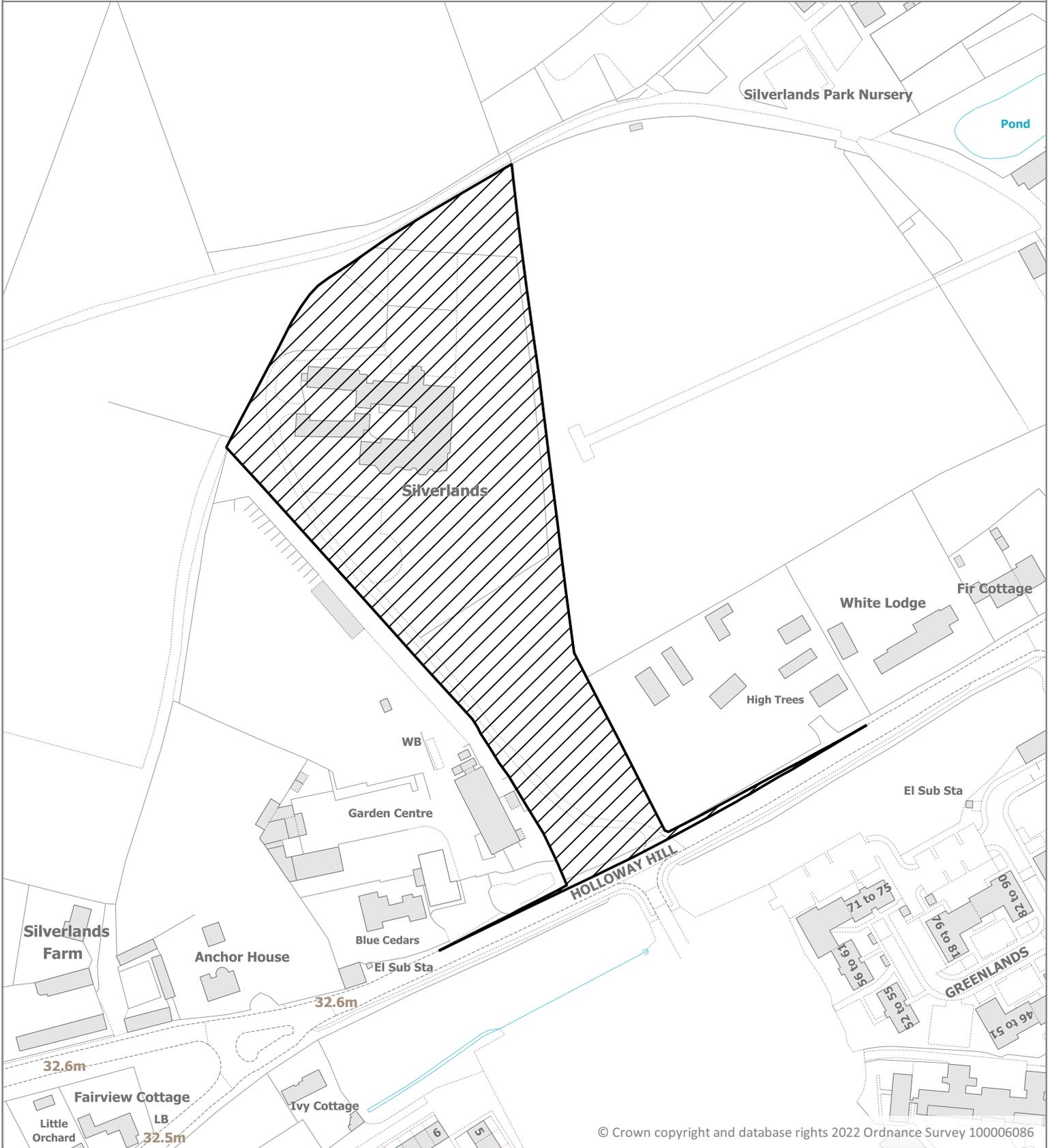




Date: 13/04/2022

Silverlands House, Holloway Hill, Lyne



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Scale: 1:2,000

0 50 100 m

RU.20/1729



COMMITTEE AGENDA REFERENCE: 5A

APPLICATION REF:	RU.20/1729
LOCATION	Silverlands House, Holloway Hill, Lyne, KT16 0AE
PROPOSAL	Proposed conversion and change of use of the vacant Grade II Listed Building previously in C2 use (residential institution) to provide 14 apartments, proposed conversion and extension of the Coach House to provide 6 dwellings and the construction of 5 new two storey dwellings (4 x semi-detached and 1 x detached) including associated landscaping, access, car parking, associated engineering works and detached bin and cycle stores.
TYPE	Full Planning Permission
EXPIRY DATE	Extension of time agreed until 21 April 2022
WARD	Longcross, Lyne and Chertsey South
CASE OFFICER	Christine Ellera
REASON FOR COMMITTEE DETERMINATION	Major Development
<i>If you have questions about this report please contact Ashley Smith, Victoria Gibson or the case officer.</i>	

1. SUMMARY OF RECOMMENDATION

It is recommended the Planning Committee authorises the CHDMBC:	
1.	To approve the application subject to the completion of the unilateral undertaking (UU) and planning conditions
2.	To refuse planning permission at the discretion of the CHDMBC should the UU not progress to his satisfaction

2. DETAILS OF THE SITE AND ITS SURROUNDINGS

- 2.1 The application site relates to a large 2-3 storey Grade II Listed Building set within a 2 hectare site and accessed from the north of Holloway Hill.
- 2.2 The Historic England Listing describes the site as a large country house, initially built as a private house, the building was used as a war hospital in the First World war, from 1938

and was the home of the Actors' Orphanage for "destitute children of actors and actresses" and later became a nurses' training school for St Peter's Hospital. The listing notes that the site is mainly yellow brick with some brown brick with stone dressings and entrance lobby and library are of stone. Slate roofs; one, two or three storeys with irregular windows.

- 2.3 The building has lain empty for c.18- 20 years following aborted plans by the government to convert it into a psychiatric in-patient residential clinic in 2001. It is now in very poor physical condition, largely due to repeated and frequent incidents of break-ins and vandalism, including the theft of large quantities of lead from the roofs, which has led to water ingress; it is therefore becoming increasingly more urgent that a new and viable use for the building is secured.
- 2.4 The site is located within the designated Green Belt of the Borough. Surrounding uses include; residential (including the adjacent gypsy and traveller site), the commercial uses of Silverland Stone and also St Peters hospital on the southern side of Holloway Hill.
- 2.5 Constraints can be summarised as follows:
 - Grade II Listed Building
 - Green Belt
 - 5KM SPA boundary
 - Tree Preservation Order (TPO)

3. APPLICATION DETAILS

- 3.1 The proposed development can be summarised as extensions and alterations to the existing Listed Building and Coach House, as well as the construction of further units within the grounds to provide a total of 25 units on this site, along with 48 parking spaces (14 being Electric Vehicle Charging points) and associated landscaping.
- 3.2 This can be described in 3 distinct parts as follows:
Main House- 14 units
- 3.3 The proposal seeks to convert the proposed listed building to residential flats, which can be summarised as follows
 - Basement- x2 two bedroom and x1 one bedroom units (total of 3 units)
 - Ground floor- 4 two bedroom and x1 one bedroom units (total of 5 units)
 - First floor- x1 three bedroom and x3 two bedroom units (total of 4 units)
 - Second floor- x2 one bedroom units (total of 2 units)

A total of x26 parking spaces are proposed for these units (x3 with Electric Vehicle Charging points).

- 3.4 To enable the proposed basement flats, new light wells would be formed to the north and eastern elevation and the existing lightwell to the south/ central courtyard would be enlarged. New external basement stairs would also be installed. Alterations to the front entrance to allow for disabled access via a lift are also proposed. The works will also reinstate balustraded parapet to all those locations from which the original was removed and the various chimneystacks that have been truncated will be reinstated to their original proportions.

Coach House- 6 units

- 3.5 The proposal is to convert the coach house (located to the rear/ west of the main house) and construct an additional wing, of a similar form and scale with split eaves dormer windows. This would form a new courtyard and “mews” type of development.

- This would provide x5 two bedroom and x1 three bedroom unit (total of 6 units).

A total of x12 parking spaces are proposed for these units (x7 with Electric Vehicle Charging points).

- 3.6 The two bedroom units would be contained over two floors, the three bedroom unit would have accommodation continued within the roof of the existing second floor. All entrances would be off the proposed new courtyard.

Development within the grounds providing 5 units

- 3.7
- The “Pavilion”- x1 three bedroom unit positioned to the north of main house. Two parking spaces are proposed for this units (x1 with Electric Vehicle Charging points)
 - The “Gatehouse” would be formed of x4 three bedroom units, in the form of two pairs of semi-detached units. These would be located to the south of the main house. A total of x8 parking spaces are proposed for these units (x4 with Electric Vehicle Charging points).

- 3.8 All buildings would be in the form of single storey properties, with accommodation in the roof, facilitated through split eaves dormer windows.

Other works proposed

- 3.9 Bin and bicycle stores are proposed in x3 locations within the site; to the west of the Coach House; to the north of the site next to the Pavilion and to the northeast of the gate house development. Each store is shown to provide refuse bins and space to accommodate x12 bicycles (a total of 34 cycle spaces across the 3 stores).
- 3.10 The proposed plans also include alterations to the existing access to the site from Holloway Hill. The revisions to the existing access including:
- Widening/ revision to the access
 - New pavement to facilitate access into the site/ by the access as well as on the highway and tactile pavement to facilitate in crossing location on the road
 - Keep clear markings
 - Removal of hedging to provide visibility splays
 - New retaining wall to enable these changes

- 3.11 Internal alterations would also be required for both the main house and the existing parts of the coach house. These do not require planning permission and are considered as part of the listed building application which sits alongside this planning application (and will be considered under delegated authority further to the outcome of this planning application).

Phasing

- 3.12 The phasing plan indicate that works would be undertaken in the following order:
1. Works to convert the main house
 2. Below ground works to the Coach House
 3. Works to build the development within the grounds of the site
 4. Final landscaping works would then be undertaken once completed

3.13 Plans have been amended since the initial submission; this has been subject to a full re-consultation exercise.

4. RELEVANT PLANNING HISTORY

4.1 There is extensive planning history to this site, the following is considered to be the most relevant and recent to this application:

Reference	Details
RU.20/1730	Listed Building Consent for the conversion and change of use of the vacant Grade II Listed Building to provide 14 apartments, proposed conversion and extension of the Coach House including the removal of internal partitions, floors, ceilings and parts of the existing roof of the main building and the south wing of the Coach House, demolition of the boiler flue stack and removal of sarking boards from pitched roofs. Pending Considerations: alongside this planning application
RU.17/1909	Listed Building Consent for the removal of rubble, rotten plaster and timber off floors, the removal of rotten floor timbers in the library, the installation of propping from the basement to the second floor (see drawings 50,51,52 & 53), the removal of rotten floor joists, the removal of infected plaster/detritus, the ventilation of the building, timber treatment any remaining timbers, replacement floor structure, the labelling and removal of cast iron radiators, doors and ironmongery to a secure dry location for later re-use within the building and the demolition of the two existing brick outbuildings. Building Consent granted: 18.01.2018
RU.17/1591	Listed building consent for erection of scaffolding and temporary roofing. Listing Building Consent granted: 03.11.2017
RU.01/0973	Listed building consent Internal and external alterations in order to convert building to psychiatric in-patient residential clinic. Withdrawn; 07/11/2001

5. SUMMARY OF MAIN RELEVANT STRATEGIES AND POLICIES RELEVANT TO THE DECISION

5.1 Planning (Listed Buildings and Conservation Area) Act 1990

5.2 *National Planning Policy Framework* (revised July 2021)- acts as guidance for local planning authorities and decision-takers, both in drawing up plans and making decisions about planning applications. At the heart of the NPPF is a presumption in favour of sustainable development. The document, as a whole, forms a key and material consideration in the determination of any planning permission.

5.3 *The Runnymede 2030 Local Plan* was adopted on 16 July 2020 and the policies have to be read as a whole. Any specific key policies will be referred to in the planning considerations.

5.4 SPGs which might be a material consideration in determination:

- Infrastructure Delivery & Prioritisation SPD
- Thames Basin Heaths Supplementary Planning Document (SPD)
- Green and Blue Infrastructure SPD
- Runnymede Design Supplementary Planning Document (SPD)

- Car Parking Supplementary Planning Guidance (2001)

6. CONSULTATIONS CARRIED OUT

Consultees responses

6.1 Comments raised from consultees can be summarised as follows:

Consultee	Comments
Historic England:	No objection- On the basis of the information available we do not wish to offer any comments.
Natural England:	No objection- As long the applicant is complying with the requirements of Runnymede's Avoidance and Mitigation Strategy for the Thames Basin Heaths SPA (through a legal agreement securing contributions to Suitable Alternative Natural Greenspace (SANG) and Strategic Access Management and Monitoring (SAMM)), Natural England has no objection to this application. Natural England considers that the proposed development will not have likely significant effects on the SWLWB Special Protection Area and has no objection to the proposed development.
Environment Agency:	No objection- This planning application is for development we do not wish to be consulted on.
Surrey County Council Highways	No objection- Having assessed the application on safety, capacity and policy grounds, raised no concerns subject to conditions including the provision of a footway and an informal pedestrian crossing point to allow access to the footway on the opposite side of Holloway Hill. These works will require the Applicant to enter into a S278 agreement with the Highway Authority
Lead Local Flood Authority	No objection- We are satisfied that the proposed drainage scheme meets the relevant requirements and are content with the development proposed, subject to conditions.
Surrey County Council Archaeology	No objection- The first stage of the archaeological examination of this site should be to conduct an appropriately scaled evaluation of the area of the proposed new buildings through trial trenching, which will aim to create a more accurate picture of the site's archaeological potential and make recommendations as to what (if any) further archaeological work is required. This can be dealt with by way of condition.
Surrey County Council as the Mineral and Waste Planning	No objection- We do not have any specific comments to make on this consultation.

Authority	
Conservation/ Listed Building Officer:	<p>Supports this proposal- This building and its near irreparable condition. Silverlands has been empty and unused for 19 years, and prior to that has suffered various institutional uses over very many years. The fact that it has not been completely destroyed or burnt out is remarkable. The level of dereliction of this building is the worst I have seen in many years. It is my view that the change of use to residential is the only possible new use for the entire complex and would only be viable with a limited number of new properties suitably located within the grounds. They have suggested a very modest five units and these are located suitably distanced from the house and outbuildings to avoid harming the setting of the listed complex. Silverlands will still be dominant when viewed across the sunken lawn while the single detached house to the north is well removed from the principal entrance.</p> <p>The five new properties are not officially described as 'enabling development' but to all intents and purposes they fulfil that function and claim exceptional circumstances which I agree with. There is also a good use of ground levels and remodelling in association with access roads and parking areas. The existing tree cover is respected and will be supplemented with new indigenous planting. My view is that RBC should exercise their option of treating this application with some flexibility as the only way of bringing this derelict building back into a sustainable long-term use. This can be achieved with minimal alterations to the exterior of these listed buildings.</p> <p>As for the internal subdivision to facilitate 14 units, this has been done sensitively and retains the grand entrance hall and principal access corridor. I consider these proposals form the basis of an excellent restoration scheme for this complex of dilapidated structures.</p>
Drainage Officer	No objection- No further comments on this application except concurring the drainage conditions recommended by LLFA
Arboricultural Officer	<p>No objection- The application is supported by a tree report which demonstrates the retained trees can be protected during the development. The trees to be removed are young trees to enable a new drive, the loss of these trees can be mitigated as there will be space to introduce new trees which has the potential to greatly enhance the existing landscape diversity. However, as the site layout has changed it will be necessary to update the tree protection plan to include the new layout and modify the tree protection where necessary</p> <p>If planning permission is granted conditions requiring an up dated tree protection plan and requiring the recommendations of the AMS are implemented.</p>
Environmental Health Officer	No objection- If local residents are to be introduced to an area with mixed residential and commercial usage then as "agents of change" it would be expected that the applicant has to take this into account. I did see specific mention of this aspect with regards to Silverland Stone. The assessment concluded " <i>The predicted external daytime and night-time operational noise levels at all are below the monitored background noise level by at least 6dB.</i> "We recommend the planning team contact Silverland Stone and make enquires as to the operation and its potential impact that new residents closer to their operation may have.

Contaminated Land Officer	No objection- The site investigation submitted shows requirement for remediation of soils in one area. Conditions will therefore need to be attached to nay planning permission to ensure works are undertaken in an acceptable manner.
Waste and Recycling officer	No objection- subject to conditions regarding details of bin stores.
Green spaces officer	No objection
Surrey Wildlife Trust	<p>Should you be minded to grant this planning application for this site, the applicant should be required to:</p> <ul style="list-style-type: none"> - Obtain a Protected Species (PS) licence from Natural England following the receipt of planning permission and prior to any works which may affect bats commencing and to; - Undertake all the actions which will be detailed in the Method Statement based on the mitigation, compensation and enhancement actions presented within 5 Recommendations section of the Protected (Bat & Reptile) Species Survey Report, which must support a PS licence application. - If any works to trees with roost suitability is required, the applicant should discuss the requirement for further survey work with their ecologist prior to any works being undertaken. - As a precautionary measure, we recommend works should be undertaken in a precautionary manner to protect Great crested Newts - Construction activities on site have regard to the potential presence of Hedgehog other mammals to ensure that such species do not become trapped in trenches, culverts or pipes - Rhododendron should be eradicated using qualified and experienced contractors and disposed of in accordance with the Environmental Protection Act (Duty of Care) Regulations 1991 - The need for a Construction and Environment Management Plan prior to any works - Provide an appropriately detailed document to demonstrate that a measurable net gain, secure for the lifetime of the development, will be achieved
Thames Water	<p>With regard to wastewater network and sewage treatment works infrastructure capacity, we would not have any objection to the above planning application, based on the information provided.</p> <p>With regard to surface water drainage, Thames Water would advise that if the developer follows the sequential approach to the disposal of surface water we would have no objection.</p> <p>Thames Water would recommend that petrol / oil interceptors be fitted in all car parking/washing/repair facilities. Failure to enforce the effective use of petrol / oil interceptors could result in oil-polluted discharges entering local watercourses.</p>

Southampton to London Pipeline project	No objection- The application does not fall within the order limits of the DCO as consented and is therefore an exempt application. Therefore, Esso offer no comment on this planning application
Fairoaks Airport	No objection

Representations and comments from interested parties

- 6.2 14 Neighbouring properties were consulted initially on this planning application (some of which have since been demolished to accommodate the Cala homes redevelopment to the southern side of Holloway Hill). In addition, site notices have been displayed and advertised in the local press and on the Council’s website. Further letters of re-consultation were undertaken following being in receipt of amended plans including a further site notice and publication in the press. Following this consultation exercise no letters of representation have been received regarding this planning application.
- 6.3 It is however noted that the Chertsey Society has made a letter of representation in support of the associated application for Listed Building Consent, in which they consider the proposal is a reasonable approach to preserving the shell of the Mansion and retaining the entrance staircase to the Grade II Listed Building.

7. PLANNING CONSIDERATIONS

7.1 In the determination of this application regard must be had to the Development Plan and National policy within the NPPF. The key planning matters are:

- Principle of the development in the Green Belt
- Any other harm to the Green Belt
- Impact to the Heritage Asset
- Wider design considerations
- Housing mix and affordable housing
- Highways Considerations
- “Agents of Change” principle
- Provision of a suitable residential environment
- Environmental Considerations
 - Flooding and Sustainable Urban Drainage
 - Renewable & Low Carbon Energy
 - Impact on Ecology and Biodiversity Considerations
 - Contaminated Land
- Other considerations
 - Impact on neighbouring amenity
 - Infrastructure Considerations
- Very Special Circumstances

7.2 The principle of the development in the Green Belt

7.2.1 The NPPF (2021) in paragraph 149 sets out exceptions where new buildings in the Green Belt need not be inappropriate development in the Green Belt. One of the provisions includes:

- g) limited infilling or the partial or complete redevelopment of previously developed land, whether redundant or in continuing use (excluding temporary buildings),

which would:

- not have a greater impact on the openness of the Green Belt than the existing development

- 7.2.3 The site is considered to fall within the definition of Previously Developed Land. However, for the development, as whole, to be considered appropriate within the Green Belt it would need to be demonstrated that the proposed development would not have a greater impact on the openness of the Green Belt than existing development.
- 7.2.4 The proposed development involves the conversion of the existing buildings to provide 14 units and extension and alterations to the coach house to provide a further 6 units. Whilst this on its own *could* be considered to fall within the above definition, the proposed development also includes the erection of x5 additional units within the grounds of the Listed Building, as well as parking and bin stores. This would spread the built form across a wider part of the site and would have greater impact on the openness of the Green Belt than the existing development.
- 7.2.5 It is noted that the supporting Green Belt Statement and Very Special Circumstances Report prepared by Savills for this planning application has sought to divide the proposal up into separate elements in order to demonstrate that parts of the proposal are “appropriate development” in the Green Belt. This is the incorrect assessment; case Law is clear that the proposal needs to be considered as a whole.
- 7.2.6 Accordingly, the proposal represents inappropriate development in the Green Belt. Inappropriate development is, by definition, harmful to the Green Belt and should not be approved except in very special circumstances.
- 7.2.7 The NPPF (2021) is also clear that when considering any planning application substantial weight is given to any harm to the Green Belt. ‘Very special circumstances’ will not exist unless the potential harm to the Green Belt by reason of inappropriateness, and any other harm resulting from the proposal, is clearly outweighed by other considerations
- 7.2.8 A full assessment of the planning application will be undertaken to identify any harm to the Green Belt and any other harm resulting from the proposal. An assessment of Very Special Circumstances will then be undertaken.

7.3 **Any other harm to the Green Belt**

Impact on the openness of the Green Belt

- 7.3.1 There have been a number of High Court decisions regarding how the visual appearance within the Green Belt should be considered. Turner V SSCLG [2016] EWCA CIV 466 has established a number of key principles in relation to openness, including that it is not simply about volume and “visual impact is implicitly part of the concept of “openness of the Green Belt”.
- 7.3.2 Euro Garages Limited v SSCLG [2018] EWHC 1753 (Admin) establishes that greater floor area and/or volume does not necessarily mean that there is a greater impact. It is also necessary to consider “the impact or harm, if any, wrought by the change”
- 7.3.3 This case law is a material consideration. The above case law establishes that ‘openness of the Green Belt’ is not limited to the volumetric approach; the word ‘openness’ is open-textured and many factors are capable of being a material consideration.
- 7.3.4 Whilst it is recognised that a landscape visual impact assessment has been submitted in

support of this planning application the consideration of openness in the Green Belt goes beyond that of which is the visual harm.

- 7.3.5 Currently the form of development on this site is one large house building on the site, with associated driveway and parking area to its frontage. It is also recognised that would this building be used for its former use then there would be a number of vehicular movements associated with it through employees and visitors coming to and from the site.
- 7.3.6 The proposed development would introduce additional residential development and spread of both built form and hard surfacing across a wider part of the site. Thus, having a greater urbanising impact on the Green Belt and thereby spatial harm.
- 7.3.7 It is however recognised that the overall visual impact of this would be more contained. Views from public areas into the site are fairly well contained and because of the ground levels within the site the additional development would be further “sunken” into the setting of the larger mansion.
- 7.3.8 Nonetheless it is considered that the proposed development would have a detrimental impact on the openness of the Green Belt. Having due regard for the above assessment this is considered to result in moderate harm

Impact on the purposes of the Green Belt

- 7.3.9 The fundamental aim of Green Belt policy is to prevent urban sprawl by keeping land permanently open; the essential characteristics of Green Belts are their openness and their permanence; these are set out in paragraph 138 of the NPPF (2021). Given the sites location and the development proposed it is not considered that the proposal would undermine the purposes of the Green Belt.

7.4 Impact to the Heritage Asset

- 7.4.1 The Planning (Listed Buildings and Conservation Areas) Act 1990 sets out that the Local Planning Authority shall have special regard to the desirability of preserving the listed building or its setting or any features of special architectural or historic interest which it possesses.
- 7.4.2 Policy EE3: Strategic Heritage Policy of the Local Plan states that development that affects Runnymede’s heritage assets should be designed to protect, conserve and enhance the significance and value of these assets and their settings. The policy further sets out that the sympathetic and creative reuse and adaptation of heritage assets which provide a sustainable future for a heritage asset will be encouraged, where the proposed new use is consistent with conservation of the asset. The delivery of enabling development within the setting of heritage assets which make a positive contribution to, or better reveal the significance of the heritage assets will be encouraged.
- 7.4.3 In addition, the policy is clear that the Council will seek to facilitate the bringing back into appropriate use of any vacant heritage assets (listed buildings and buildings in conservation areas), in order to minimise future risks to the significance of the building.
- 7.4.4 As well as seeking to preserve and enhance Listed Buildings, Policy EE4: Listed Buildings of the Local Plan sets out that the change of use of part, or the whole, of a Listed Building will be supported provided that its setting, character and features of special architectural or historic interest would be preserved and/or enhanced. Consideration will be given to the long-term preservation that might be secured through a more viable use.

- 7.4.5 The above legislation and Development Plan gives a very strong and clear framework which seeks to protect listed buildings and their settings. There is also a clear support for the conversion of Listed buildings where they would seek to maintain, sustain, and enhance the significance and special architectural and historic interest of Listed Buildings.
- 7.4.6 A Historic Building Appraisal and Heritage Impact Assessment have been submitted in support of this planning application, it is understood from this and the listing by Historic England that the earliest parts of the building appear to be the east front which appears of c1845, where originally the access to the house would have been taken from. The house was then reoriented so that the 'new' north wing now incorporated the main entrance.
- 7.4.7 The building has been substantially remodelled and extended in successive phases, each phase of works concealing to differing degrees the phase that went before it. Therefore, and unlike some other Listed building it is difficult to succinctly describe the features of special architectural or historic interest which form the reason for the buildings listing. Section 4 of the Heritage Appraisal does provide a useful summary of the buildings and the significance in heritage terms.
- 7.4.8 In all instances the house itself has lain empty for over 18 years and has suffered as a result, from repeated episodes of intrusion, theft and vandalism. It is also recognised that this systematic vandalism was despite considerable efforts by the owners. Nonetheless this has led to direct physical damage and to secondary damage to fabric from water ingress (for instance from the theft of lead from the roofs). Any drawing showing the building 'as existing' needs to take into account the drastic loss of fabric which occurred over many years.

Conversion of the Listed Building

- 7.4.9 It is clear that a new and viable use needs to be found for the building, in order to prevent this process of deterioration and to reverse the damage that has been done. It is also recognised that the above legislation and policy give a strong presumption in favour of development which would sustain the long terms viability use of the Listed Building.
- 7.4.10 In recognising this, it is considered that a residential redevelopment would appear to be the most pragmatic option to achieve this. Such a use has the ability to retain as many original room proportions and has the ability to provides a clear and long term steward across the site. Accordingly, the proposed new use is consistent with conservation of the asset. The conversion of the Listed Building to residential would therefore preserve and enhance the Listed Building, consistent with the requirements of the above legislation and is supported within the above policy context. The potential impact to the interior and wider detailed works to the Listed Building is considered in the Officers assessment for the accompanying Listed Building Consent.

The Coach House

- 7.4.11 Although the Coach House is an important element of the listed building, the former stable blocks are of relatively limited intrinsic interest. They have been subject to both external and internal alterations in the early and mid-20th century and retain no historic fittings.
- 7.4.12 The conversion and extensions of the coach house yard are considered to be low key and sensitively designed. The new form remains subservient to the central coach house. Overall, these works are considered to be sympathetic to the Listed Building and despite the conversion to residential, preserves the character and features of special architectural

and historic interest.

New build proposals and landscape strategy

- 7.4.13 Five new dwellings are proposed within the grounds of the listed building. Both the Heritage Impact Assessment submitted by the applicants, as well as the Council's own Listed Building Officer consider that the proposed new houses can be comfortably accommodated within the site without harm arising to the setting or significance of the listed building.
- 7.4.14 It is understood that in the late 19th Century the historic maps for this area show that the mansion was once the centrepiece of a large parkland estate, including the Home Farm, dairy and dairy cottage, nine other cottages with gardens housing the undergardeners, coachman and labourers, an aviary and camellia house overlooking a tennis court, a walled kitchen garden, a number of glasshouses and other garden buildings, and a keeper's cottage in the middle of a large woodland plantation.
- 7.4.15 The applicants statement sets out that the houses are proposed in the form of estate cottages. Through discussions as part of this planning application, the design to these buildings has been revised. The revisions now appear as modest and sensitively designed buildings.
- 7.4.16 The site is subject to a holistic landscaping strategy which reinstates a formal garden setting, enhancing the immediate environs of the listed building, while maintaining existing tree and under-storey planting along the boundaries of the site and in the wooded southern area of the site. The strategy incorporates formal planting which doubles as boundary definitions and screening and ensures that the five new houses are incorporated within the setting of the listed building without harm to its significance.
- 7.4.17 Overall, it is considered that the siting of the limited new buildings and landscaping will have a neutral impact on the setting of the Mansion and the dominance of the Mansion over its setting is preserved.
- 7.4.18 To be clear, Historic England guidance considers "enabling development" in the context of heritage assets is development that would not be in compliance with local and/or national planning policies, and not normally be given planning permission, except for the fact that it would secure the future conservation of a heritage asset. For the avoidance of doubt the works now proposed when considered in the context of the impact on the heritage assets are NOT considered to fall within this definition. Were this scheme revised (specifically to be akin to the plans previously proposed) the position of officers would likely be different.
- 7.4.19 The consideration of the potential of these units as "enabling development" to justify the development in the Green Belt is considered below as part of the applicant's case for Very Special Circumstances

7.5 Wider design considerations

- 7.5.1 As largely discussed above, works to the Grade II listed building are primarily planned around the refurbishment and conversion into residential dwellings on the basis of preserving the external fabric and appearance of the building as far as possible to maintain its presence and character when viewed externally.
- 7.5.2 In terms of the extensions and additional units, the proposed layout, form and scale of the proposed development would appear as subordinate additions to the historic mansion.

They would also ensure that the dominance of the Mansion over its setting is preserved.

- 7.5.3 In terms of the proposed architectural appearance the proposed development will not fundamentally alter the appearance of the existing buildings as the majority of the proposed work is of an internal nature. It is proposed that the existing exterior brickwork will be cleaned up and the brickwork, stone and render will be repaired and repointed where necessary. Works to reinstate historic features to the roof and repair windows are also proposed.
- 7.5.4 The coach house will require some external revisions and alterations including one small window opening converted to a door opening, new dormer windows and Conservation rooflights. The southern block is proposed to undergo a greater degree of alteration to support the new use of three dwellings -works include this block being raised in height by c.1.5m; this will make the eaves level comparable to that of the northern block. New windows and dormer windows would also be required. All are sympathetic additions to the more modern “wing” of the building. Extensions will be required to match the existing and such matters can be secured by way of recommended condition 8.
- 7.5.5 In terms of the x5 new dwellings, referred to as the proposed gatehouse and pavilion development. The revised plans demonstrate that the proposed development would utilise materials and finishes which would reflect and respond to the historic fabric of the building. It will be expected that the proposed material finish will be high quality and respond to the yellow brick, limestone and render of the main house. Such matters can be dealt with by way of condition.
- 7.5.6 The applicant’s proposed landscape strategy is based on a parkland setting for the main house. Much of the soft landscaping will be through retaining and managing the existing grounds of the house and having the areas around the main house laid to lawn and the existing woodland towards the southern end managed and maintained for biodiversity improvements. Proposed new footpaths are shown across the site and hardstanding to create private terrace areas for ground floor flats/ proposed new houses are also shown.
- 7.5.7 The proposal does result in a significant increase of hard surfacing, largely due to the proposed level of car parking proposed and the driveways necessary to facilitate it. Much of the car parking is contained to the north the site. It is recognised that currently much of this area is already laid to hard surface. However, in addition to this further car parking is proposed to the east of the existing house. The eastern elevation forms an important frontage to the site and there are some concerns that this additional parking and driveway could undermine its setting. That being said, it is recognised that the parking is at a lower level to the existing house and as such its prominence and its ability to detract from its setting would be less harmful. As discussed further below in the parking considerations it is noted that the scheme provides parking spaces well above the current recognised standards for development of this size. Whilst the level of parking has been considered appropriate in that assessment it doesn't negate the officers’ concerns that a reduction in the levels of parking could improve the setting and landscaping of the proposal.
- 7.5.8 In terms of proposed trees. The Arboricultural Method Statement, which has been submitted in support of the planning application demonstrates that the retained trees can be protected during the development. There are some trees proposed to be removed to enable the new driveway/access arrangement. It is considered that the loss of these trees can be suitably mitigated as there is ample space to provide replacement planting within the site which has the potential to greatly enhance the existing landscape diversity. The Tree officer has raised no objections subject to recommended condition 7.

7.6 **Housing Mix and Affordable Housing Provision**

- 7.6.1 Policy SL19 deals with Housing Mix and Size Requirements. This sets out that developments of this size will be required to contribute to meeting the Housing Market Area's identified housing needs by generally providing a housing mix as set out in the Strategic Housing Market Assessment or any similar evidence for market and affordable units. The needs of the Borough are largely for 3 bedroom units, and then 2 bedroom units.
- 7.6.2 The proposed development would provide x7 three bedroom, x14 two bedroom and x4 one bedroom units. Whilst this mix is more geared towards two bedroom units, the conversion of a listed building does limit the layout and size of the proposed units. In views of this and as the proposal does provide a good range of units, whilst having regard for this constraint, the proposed housing mix is considered acceptable.
- 7.6.3 In terms of affordable housing provision policy SL20 sets out that Development proposals of 10 or more (net) additional dwellings will be expected to provide 35% of dwellings as affordable units. It also sets out that where viability evidence demonstrates that the full amount of affordable housing cannot be delivered the Council will negotiate a level of on-site affordable housing.
- 7.6.4 As detailed above there are a number of key viability issues associated with this site and the costs associated in bringing the building back to viable use. A Financial Viability Assessment has been submitted in support of this application, prepared by Savills and dated November 2020. This has been reviewed by an independent financial adviser. The outcome of this is that the conversion and extensions of the main house and coach house would result in a deficit of circa £1.8 million. Having regard for the "enabling" development of the 5 additional houses the scheme would be in defect by circa £600k. This is based on an assumed developer profit of 17.5% (i.e. a lower developer profit circa 16% would make the scheme viable but without any affordable housing provision). Overall, it is considered that given the extensive cost of bringing the building back into viable use the scheme cannot viably bear any affordable housing provision, on site or otherwise.

7.7 **Highways Considerations**

Sustainable transport

- 7.7.1 Policy SD3 of Local Plan deals with Active and Sustainable Travel. This sets out that the Council will support proposals which enhance the accessibility and connectivity between people and places by active and sustainable forms of travel. This includes supporting developments which integrate with or provide new accessible, safe and attractive active and sustainable travel networks and routes to service and employment centres and rail interchanges.
- 7.7.2 The NPPF (2021) is also clear that proposals should be designed to give priority to pedestrian and cycle movements having due regard for the wider areas and design access to high quality public transport, with layouts that maximise the catchment area for bus or other public transport services, and appropriate facilities that encourage public transport use.
- 7.7.3 In terms of giving priority to sustainable transport modes, it is recognised that the site is outside of the urban area. With the exception of the hospital, the site is not in close proximity to shops and facilities. Although the entrance to the site (some 20m below the main house) is immediately adjacent to a bus stop, given the locality it is likely that future occupiers would largely rely on private vehicles to come to and from this site.

- 7.7.4 Whilst this weighs against the scheme, the above assessment on the Listed Building sets out the clear presumption in converting the building back to a viable use. It is also considered by officers that the most appropriate use would be for residential. In accepting this it is recognised that the proposal would be one which would largely be reliant on private vehicles.
- 7.7.5 It is also noted that the proposed development would provide 14 electric vehicle charging points. In addition, and through negotiations the developer has confirmed that provisions will be made for the rest of the parking spaces to have a passive charging space where car parking spaces can be upgraded to “live” spaces as and when there is future demand. This goes beyond the requirements of the policy and does seek to provide some contributions towards sustainable modes of transport.

Highway safety and capacity considerations

- 7.7.6 The proposed development would not result in a significant increase of vehicle movements, above and beyond the previous uses of the site. However, the current access arrangement onto Holloway Hill is constrained. In order to facilitate in vehicle access and egress (including delivery vehicles) some minor revisions to the access are proposed. This includes a section of pavement by the access to remove any conflict between vehicles and pedestrians walking to and from the development. It also provides for tactile paving crossing to the main stretch of pavement along Holloway Hill. Such matters can be secured by way of condition (see recommended condition 17).

Parking provision

- 7.7.7 Whilst the Council have adopted Parking Standards these were prepared in 2001. Being some 20 years old they do not reflect modern standards or requirements and as such can only be given limited to no weight in assessing planning applications.
- 7.7.8 Surrey County Council have prepared “Vehicle, Cycle and Electric Vehicle Parking Guidance for New Development” dated November 2021. These standards provide a far more up to date Guidance based on current day standards and are given greater weight in assess development proposals. This advises that for 1 - 2 bedroom flats in suburban edge/ rural locations units should have 1 space per unit as a maximum. For two bedroom houses 1.5 spaces per unit and 3 bedroom houses 2 spaces per units.
- 7.7.9 The guidance does recognise that where space permits it may be appropriate to consider increased provision for dwelling houses. Visitor spaces are also encouraged where appropriate, in addition to these standards.
- 7.7.10 The proposed development includes 14 flats (x1 three bedroom, x 11 two bedroom and x2 one bedroom) with a total of x26 parking spaces. This would provide x1 space per one bedroom unit and x2 spaces for all other units. This is well above the maximum guidance, which would be closer to 13 spaces.
- 7.7.11 The 6 units forming the Coach House would all have x2 spaces per unit, around 3 spaces above the maximum standards. The units forming the Pavilion and the Gatehouse would also have x2 spaces per unit but given these are larger units, 2 spaces per unit are in line with the maximum standards.
- 7.7.12 Overall, the scheme provides around 16 spaces above the guidance for maximum standards. However, it is recognised, as detailed above, that the sites location means that future residents will likely largely rely on private vehicles. In addition, the two bedroom flats are of such a generous size more akin to the space requirement of a two +

bedroom house, with greater demand for private vehicles. The additional space would also facilitate in visitor parking spaces (given there is no ability to utilise “on street parking” in this location).

- 7.7.13 Therefore, and whilst a lower level of parking would be more consistent with the relevant guidance, it is necessary for this scheme to be designed from the onset to have regards for likely car ownership levels, reflecting the unique form of this development. Moreover, reducing the parking provision could result in indiscriminate parking, which in the long term could undermine the landscape strategy and/or setting of the listed building. Conditions can also secure that the proposed parking areas utilise suitable materials to respond to the setting of the listed building. It is also note that Surrey County Council have raised no objections to this scheme.
- 7.7.14 A total of 34 cycle spaces are shown to be contained in communal stores across the site. These are considered to provide sufficient storage for future occupiers, consistent with the above standards.
- 7.7.15 Overall, the parking provision is one which is considered acceptable. Were this site in a more sustainable/ accessible location and not facilitated by a long private drive, up a slight hill to access this property, then this assessment would likely have been different.

7.8 “Agents of change” Principle

- 7.8.1 Policy EE2: Environmental Protection of the Local Plan sets out that development proposals should be integrated effectively with existing businesses and community facilities. The NPPF (2021) further states beyond this that existing businesses and facilities should not have unreasonable restrictions placed on them as a result of development permitted after they were established.
- 7.8.2 Where the operation of an existing business or community facility could have a significant adverse effect on new development in its vicinity, the applicant (or ‘agent of change’) should be required to provide suitable mitigation before the development has been completed. In this case the consideration is “Silver and Stone” a landscape supply store with retail and display area towards the front of the site with a larger open storage/ service areas of materials to the rear running parrel to the site, up as far as the existing house. The boundary between the sites is defined by a number of mature trees, and the rear storage/ service area appears to have been excavated and is at a lower level than the application site. However, the nature of the works is such that the activities and noise has the ability to resonate and be heard from the proposed development.
- 7.8.3 A Noise Assessment prepared by Air & Acoustic Consultants dated September 2020 has been submitted in support of this planning application. This considers the potential impact on this adjoining site. This had regard for the worst-case scenario for when the site is in operation, including deliveries, loading stone, stone cutting. Based on the relationship and that the adjoining site the report has assessed that there are no likely adverse effects, and no further action is required. On this basis it is considered that the proposed development would not unduly fetter the operations of the adjoining site.

7.9 Provision of a Suitable Residential Environment

- 7.9.1 All proposals are expected to provide high quality homes. Policy EE1 states that development proposals should ensure no adverse impact on the amenities of occupiers of the development proposed. In addition, Policy SL19 of the Local Plan sets out the minimum floor space standards expected for new development to accord with. The Council adopted SPD on Design provides further guidance of some more the *qualitative*

expectations, particularly contained in design standard 24. This includes ensuring new development provide suitable levels of natural daylight and sunlight to new (and existing) properties. Flated developments should be seeking to deliver dual aspect units and in all cases avoiding single aspect north facing units. Development is also expected to provide suitable ventilation.

Internal amenity

- 7.9.3 All units proposed as part of this development exceed the minimum floor space standards, this as well as other matters is discussed further below:

Main house

- 7.9.4 Flats are proposed over 3 floors. The only lighting to the x3 basement units would be through new or extended light wells. Units would therefore not benefit from any outlook and lighting through such wells can be limited. This is of particular concern for the one bedroom unit where the only light well is located to the northern elevation, thereby limiting sunlight. However, these basement units (and indeed most of the flats) are of generous size. For instance, the one bedroom unit has a floor area of some 62 sqm, well above the minimum standards of 50 sqm. The x2 two bedroom units are 167 sqm and 100sqm respectively, where the minimum floor space standards is 70 and 61 sqm respectively.
- 7.9.5 In terms of the ground floor arrangement, some of these units would be single aspect or have secondary aspect over the internal communal court yards. This would limit the privacy these from such windows. However, as with the basement layout, flats are of generous floorspace. All units well exceed the minimum standards by at least 10sqm and in some cases twice that area. It is also noted that all ground floor units benefit from their own front doors, creating a sense of ownership for these units.
- 7.9.6 Similar compromises exist at the upper floors. Whilst all upper floor units are dual aspect, the built form of the building would limit the level of day/ sun lighting and the outlook afforded to a number of the units habitable room windows. There is also a potential for some degree of inter overlooking with units. However, in all instances the proposed floorspace are generous and far exceeds that of the minimum standards.
- 7.9.7 There are some internal “stacking” concerns where bedrooms would be above/ below other units living rooms/ bathrooms which could create potential conflict of noise. However, it is recognised that the irregular layout of the listed building will limit the ability to replicate the floorplan on each level. The need to retain the historic proportions of the building is also a consideration/ constraint of layout.

Coach House, Pavilion and Gate House units

- 7.9.8 These proposed new dwellings provide suitable internal floorspace for dwellings of this size, in excess of the relevant space standards. All units are dual aspect and habitable rooms would afford suitable levels of sun/daylight, outlook, and ventilation.
- 7.9.9 Overall, whilst there are some concerns about the level of amenity afforded to all units, it is recognised that when converting a listed building some flexibility is necessary. Taking this into account, the generous floorspace standards for each unit and moreover the wider setting the development would provide, it is considered that each of the proposed units contained within the converted building would provide a suitable residential environment.

External amenity

- 7.9.10 In terms of external space, all new houses and flats are expected to have access to usable outdoor space, be it private or communal. The indicative landscape strategy demonstrates how, through the careful use of hard and soft landscaping, the houses and ground floor units will all be afforded areas of amenity space which residents can take ownership of. In addition, and specifically for the upper floor units in the main house, the development, as a whole, is set within the wider grounds of the listed buildings. Overall, the proposal provides a good level of external amenity space for all future occupiers.

7.10 **Environmental Considerations**

Flooding and Sustainable Urban Drainage

- 7.10.1 The site would be within flood zone 1, defined at less than 0.1% chance of flooding in any year. For a scheme of this size a Flood Risk Assessment (FRA) is required. The purpose of the FRA is to demonstrate that the proposal will not be in an area at risk of flooding and ensure that flood risk is not increased elsewhere.
- 7.10.2 An FRA prepared by Infrastruct CS Ltd dated 21.09.2020 has been submitted in support of this planning application. Whilst this document does not accurately describe the proposed development (it omits the proposed Pavilion) it is shown on the supporting plans and does suitably identify potential sources of flooding. The FRA also sets out that any risk of flooding to this site would be low.
- 7.10.3 The potential increase to flooding from a development of this nature could be through any increase in impermeable areas, and the resultant increased risk of causing rapid surface water runoff to watercourses and sewers, thereby causing surcharging and potential flooding. There is also the potential for pollutants to be mobilised and consequently flushed into the receiving surface water system. Such matters need to be considered through managing sustainable drainage.
- 7.10.4 In accordance with The Flood and Water Management Act 2010 the Surrey County Council in its role as Lead Local Flood Authority (LLFA), is a statutory consultee for all major applications. In addition to the above Paragraph 169 of NPPF (2021) states that all 'major' planning applications must incorporate sustainable drainage systems unless there is clear evidence that this would be inappropriate. SuDS must be properly designed to ensure that the maintenance and operation costs are proportionate and sustainable for the lifetime of the development. Section 7 and 8 of the aforementioned FRA deals with the proposed drainage strategy for this site. Some of the measures proposed include appropriately sized cellular soakaways, utilising side hung impermeable roads falling into swales, permeable paved surfaces and upgrading the drainage at the access to the road (which currently does not benefits from any drainage).
- 7.10.5 The Country Council in their role as the LLFA have advised that the proposed drainage scheme meets the relevant requirements and further matters can be dealt with by way of condition. It is therefore considered that the proposal will not be in an area at risk of flooding and suitable measures can be secured by way of recommended condition 12 and 16 to ensure that flood risk is not increased elsewhere.

Renewable & Low Carbon Energy

- 7.10.6 New development is expected to demonstrate how it has incorporated sustainable principles into the development including; construction techniques, renewable energy, green infrastructure and carbon reduction technologies.

- 7.10.7 Policy SD8: Renewable and Low Carbon Energy sets out that new development will be expected to demonstrate how the proposal follows the energy hierarchy (Be lean; use less energy, be clean; supply energy efficiently and be green; use renewable energy). For a scheme of this scale, it is also expected for the development to incorporate measures to supply a minimum of 10% of the development's energy needs from renewable and/or low carbon technologies.
- 7.10.8 The NPPF (2021) paragraph 155 states that in determining planning applications developments should comply with any development plan policies on local requirements for decentralised energy supply unless it can be demonstrated by the applicants, having regard to the type of development involved and its design, that this is not feasible or viable.
- 7.10.9 An Energy Assessment prepared by QODA dated 10.09.2020 has been submitted in support of this planning application. The overall conclusion of this report is that the energy hierarchy has been followed and it is proposed for the development to incorporate air source heat pumps to the proposed new dwellings. It is noted that this document has several discrepancies – referring to the correct number of units in the executive summary, less units in the description. However, the methodology does seek to demonstrate, based on the sample of units, that the requirements of this policy can be achieved. It is considered that further details and compliance can be dealt with by conditions, this is recommended in **condition 15**.

Impact on Ecology and Biodiversity Considerations

- 7.10.10 Policy EE9 of the Local Plan deals with Biodiversity and sets out that development proposals should demonstrate net gains in biodiversity. The Council have prepared further guidance on this, contained within the Green and Blue Infrastructure SPD. The latter which has been published since the application has been submitted.
- 7.10.11 Paragraph 174 of the NPPF (2021) seeks development to provide net gains for, biodiversity. Paragraph 180 of the NPPF (2021) states that:
- “if significant harm to biodiversity resulting from a development cannot be avoided (through locating on an alternative site with less harmful impacts), adequately mitigated, or, as a last resort, compensated for, then planning permission should be refused...”*
- 7.10.12 A Preliminary Ecological Appraisal prepared by ADAS and indicative landscape strategy have both been submitted in support of this planning application. The conclusion of the former report sets out that the majority of the habitats were assessed to be of low ecological value, with the exception of the broadleaved semi-natural woodland which is a Habitat of Principal Importance. The main ecological impacts will be to the existing buildings with potential to support roosting bats and disturbance to nesting birds. In addition, the semi-improved grassland has potential to support common reptiles, other vegetation including woodland and scrub have potential to support nesting birds with mature trees containing potential roost features for bats. It is considered that the findings and proposed recommendations acceptable and can be dealt with by way of condition, as per the recommendation of Surrey Wildlife Trust (see recommended condition 6).
- 7.10.13 The Appraisal also made recommendations to ensure that the development enhances the site's biodiversity post-development through the provision of bird and bat boxes, native planting of fruit/seed bearing species and creating invertebrate habitat.
- 7.10.14 Surrey Wildlife Trust recommends that prior to determination, the Council should require

the applicant to provide an appropriately detailed document to demonstrate that a measurable net gain, secure for the lifetime of the development, will be achieved. However, Officers consider that a level of pragmatism can be applied. Given the size of the site and the ability for biodiversity net gains delivered across this wider area it is considered appropriate and reasonable in this instance for further details to be secured by way of condition, as set out in recommended condition 14.

Contaminated Land

- 7.10.15 Policy EE2 seeks, where relevant, contaminated land surveys are to be submitted as part of applications to determine the source of any pollutants and any remedial measures necessary. Paragraphs 174 and 183 of the NPPF (2021) seek to ensure that through decision making that suitable land remediation is secured through redevelopment.
- 7.10.16 A Land Contamination Assessment prepared by engineers HRW and dated September 2020 has been submitted in support of this application. The overall conclusions of this assessment are that there is a requirement for remediation of soils only in one specific area.
- 7.10.17 The Council's Contaminated Land Officer has confirmed that subject to contaminated land conditions (set out in recommended **condition 10**) the proposed development would provide suitable remediation.

7.11 **Other Considerations**

Impact on Neighbouring Amenity

- 7.11.1 Matters regarding the agents of change principle have been considered above. Beyond this, the development is contained within large and substantive grounds. The nearest residential units are by Holloway Hill. Given the separation distances the proposal will not affect the amenities of occupiers of any nearby residential properties in terms of loss of light, overbearing impact or raise any issues in terms of privacy/ overlooking.
- 7.11.2 It is not considered that the activities associated with the development would result in noise and disturbance which would give rise to amenity issues.

Infrastructure Considerations

Thames Basin Heaths Special Protection Area

- 7.11.3 The site lies within 5km of the Thames Basin Heaths Special Protection Area (TBHSPA). In accordance with guidance from Natural England, the Habitats Regulations Assessment requirements are that plans or projects which may have a likely significant effect on a European designated site (such as the TBHSPA) can only proceed if the competent authority is convinced, they will not have an adverse effect on the integrity of the European site.
- 7.11.4 Any net increase in residential dwellings within 5km of the SPA is likely to have a significant adverse effect on the SPA either alone or in combination with other plans or projects. Consequently, every proposal for net additional dwellings must make provision to avoid and mitigate the effect.
- 7.11.5 As competent authority the Council's appropriate assessment is that the contributions in line with the agreed strategy with Natural England, means harm to protected species can be avoided and mitigated by the provision of SANGs. The Council has available capacity

to accommodate this development subject to appropriate payments for delivery and maintenance. Subject to securing these SANG contributions by way of a s106 agreement it is considered that the proposal would address the impacts arising from the development on the Thames Basin Heath Special Protection Area in accordance with the Council's policies and the NPPF.

- 7.11.6 The second part is towards the Strategic Access Management and Monitoring funds which enable the coordinated visitor management across the whole of the publicly accessible TBHSPA. The funds are used in part to survey the Thames Basin Heaths' Authorities SANGs. The purpose is to identify any improvements to the SANG.
- 7.11.7 In accordance with the Council adopted SPD for this area a financial contribution of £44,271.5 is required towards SANG and a further £17,640 towards SAMM towards the avoidance/ mitigation strategy is necessary. The applicants has submitted a unilateral undertaking in accordance with this to secure such provision. At the time of writing the UU is currently with the council's legal team for review.

Management and maintenance of the site

- 7.11.8 It is understood the developer will set up a freeholder management association to manage the repair and maintenance of the external fabric of the main house, stable block, common parts and the grounds. Each dwelling will be sold with a share of the freehold and owners will be directors of the freeholder management association. Much of this extends beyond the remit of planning however as part of recommended conditions regarding landscaping further details are requested regarding its management to ensure the landscaping and biodiversity net gains are delivered for the duration of the development.

Community Infrastructure Levy

- 7.11.9 In line with the Council's Charging Schedule the proposed development would now be liable for the Community Infrastructure Levy (CIL). The applicant has submitted the required forms including the assumption of liability for payment on the net increase in gross internal floor space
- 7.11.10 CIL acts as a "pool" of contributions from which the Council is able to fund infrastructure necessary to support the borough, as a whole. This includes matters such as the provision of education or health provision, or indeed any other infrastructure requirements. The site is liable for the CIL at a rate of £300 per square metre of net floor space (plus any indexation).

8. Assessment for Very Special Circumstances

- 8.1 The harm identified in the above assessment is that the proposed development constitutes inappropriate development within the Green Belt. This is given substantial weight.
- 8.2 The other harm identified is summarised as follows:
- Impact on the visual openness of the Green Belt (moderate harm)
 - An unsustainable form of development (limited to moderate harm)
- 8.3 The Green Belt balancing exercise therefore needs to be if 'other considerations' put forward as part of this planning application equate to Very Special Circumstances (VSC) which exists to outweigh the harm and any other harm. This harm includes the inappropriate development in the Green Belt, the impact on openness; the impact on the character of the area.

- 8.4 The applicants have submitted a Green Belt Statement and Very Special Circumstance Report prepared by Savills and dated Nov 2020. Section 6 of the report sets out their Very Special Circumstance case.
- 8.5 The report summarises their case as being:
1. Utilising PDL within the Green Belt;
 2. Securing a new use for the existing listed building which has been vacant and fallen into a state of disrepair;
 3. Preservation of existing trees and additional planting to improve the contribution to the wider landscape;
 4. Refurbishment of the grounds and significant enhancements to the setting of the Listed Building;
 5. Contribution to the housing land supply position in Runnymede Borough;
 6. Enhancement of existing ecological habitats on the site and securing a net gain in biodiversity.

Each matter will be considered in turn:

Utilising PDL within the Green Belt

- 8.6 The submission sets out that the proposal, is wholly Previously Developed Land. Further reference is made to contributing towards brownfield development and effective and efficient use of such land, referring to both national and local policy.
- 8.7 Were this site to be considered to fall within such a definition the NPPF (2021) is clear that the presumption in favour of such development is only relevant where it would not conflict with other policies in this Framework. As the proposed development represents inappropriate development in the Green Belt this is not a relevant consideration. Officers struggle to understand the justification being advocated in this regard. Accordingly, **Officers give limited to no weight to this as a Very Special Circumstances.**

Securing a new use for the existing listed building which has been vacant and fallen into a state of disrepair

- 8.8 The application submission highlights that integral to the development is the proposal to renovate and re-landscape the grounds to provide a sympathetic and appropriate new landscape fit for the new residential use. The submission contends that in order to make the scheme viable, it was assessed that 5 x new build dwellings is sufficient to produce a positive land value for the risks involved. This number of dwellings would produce an expected 16% profit on GDV. Which whilst far lower than the expected level of return for such a risky endeavour, site constraints and other issues have warranted that this level of reduced return is enough to warrant the risk (given the significant capital expenditure and holding costs incurred thus far).
- 8.9 Officers recognise that the building is currently in a poor state and significant works are necessary in order to bring to the building back into viable use. It is also recognised that the vandalism and deterioration of the buildings is not the fault of the applicant and that they have made considerable efforts to secure the building.
- 8.10 Furthermore, the above assessment gives strong support to bringing the building back to the viable use and that without the “enabling development” the proposed development would result in a deficit of circa £1.8 million. With such a large deficit it is highly unlikely that the scheme to simply convert and extend the building would ever come forward and the building would then fall into further disrepair.

- 8.11 The proposed new dwellings within the grounds have been amended since the initial submission. These are considered to preserve the setting of the Listed Building.
- 8.12 Overall and given the strong presumption in favour of bringing the Grade II Listed Building back to viable use, which can be secured through the legal agreement prior to the commencement of the new development it is considered **that substantial weight as very special circumstances can be given to this proposal bringing forward the viable and comprehensive landscape led redevelopment of this site.**
- 8.13 As part of this it is recognised that the submitted proposes the reinstatement of a number of historical features, including the balustraded parapet to all those locations from which the original was removed and the various chimneystacks that have been truncated will be reinstated to their original proportions. These are considered to be key benefits forming part of the wider restoration works

Preservation of existing trees and additional planting to improve the contribution to the wider landscape;

- 8.14 The submission seeks to argue that there is a significant opportunity to improve the Arboricultural setting of Silverlands through the management of the existing tree stock and diversification of the tree species and that without the scheme coming forward this would not be possible.
- 8.15 Officers are unsure of the basis in which such a justification can be made that this should form part of an “other consideration” which forms part of Very Special Circumstances. This would be “double counting”. The case about how this scheme brings forward a comprehensive redevelopment of this site, as a whole, which includes landscaping, as well as managing the trees is already discussed above and has been given the appropriate weight. Such matters should be divided into separate discreet points.
- 8.16 This manner in trying to sub divide what forms part of a wider and comprehensive argument, which has already been advanced above is not one which Officers endorse in any manner. In this context **Officers give limited weight to this as a Very Special Circumstances.**

Refurbishment of the grounds and significant enhancements to the setting of the Listed Building

- 8.17 The submission seeks to argue that there is a significant opportunity to enhance the existing degraded setting of the building, reinstating a more appropriately landscaped setting consistent with its period, style and status, including clearing overgrown vegetation to uncover surviving elements of historic layout; applying new high quality surfacing to the drive, parking areas and pedestrian approaches to the listed building; and retaining, introducing and managing tree and other planting as appropriate.
- 8.18 As above, the case about how this scheme brings forward a comprehensive redevelopment of this site, as whole, which includes landscaping is already discussed above. **Limited weight to this as a Very Special Circumstances.**

Contribution to the housing land supply position in Runnymede Borough;

- 8.19 The Government is clear that the supply of housing can be a material consideration which contributes towards a case of Very Special Circumstances but cannot be of sufficient weight on its own to clearly outweigh harm to the Green Belt, in principle.
- 8.20 Since the developer has submitted their Green Belt statement the Council have now updated their housing land supply position to demonstrate we have in excess of five-year housing land supply. Irrespective, it is recognised that this scheme would contribute towards additional homes in the Borough, albeit a limited one. In this context **Officers give limited**

weight to this as a Very Special Circumstances.

Enhancement of existing ecological habitats on the site and securing a net gain in biodiversity

- 8.21 The applicants statement sets out that, the proposal will enhance the sites biodiversity post development and provide an environmental net gain. Measures include the provision of bat and bird boxes, native planting of fruit/seed bearing plants and creating habitat for invertebrate.
- 8.22 Such requirements are expected as part of any planning application to ensure an acceptable scheme. Were this not proposed the scheme could be refused. **Limited weight is given to this as a benefit to forming Very Special Circumstances.**

Conclusion on Very Special Circumstances Case

- 8.23 The NPPF (2021) states that very special circumstances will not exist unless the harm to the Green Belt, and any other harm, is '*clearly outweighed by other considerations.*' The decision-taker must exercise a qualitative judgment and ask whether the circumstances, taken together, are very special and clearly outweigh the harm.
- 8.24 Limited weight is given to a number of the matters advocated in the above supporting statement. However, substantial weight is given to the ability for this scheme, when considered as a whole, to bring the site back into viable use in the long term through repairing, restoring, and managing the Grade II Listed Building and its wider grounds. It is further recognised that through this scheme the proposed development would preserve the Grade II Listed Building.
- 8.25 It is considered that its is this justification which equates to very special circumstances which **clearly** outweighs the harm to the Green Belt as set out in this report as well as the other harm identified above.

9. EQUALITY AND HUMAN RIGHTS CONSIDERATIONS

- 9.1 Consideration has been given to Articles 1 and 8 of the First Protocol of the European Convention on Human Rights. It is not considered that the decision would result in a violation of any person's rights under the Convention.
- a) Consideration has been given to s149 of the Equality Act 2010 (as amended), which has imposes a public sector equality duty that requires a public authority in the exercise of its functions to have due regard to the need to:
 - b) Eliminate discrimination, harassment, victimisation and any other conduct prohibited by the Act
 - c) Advance equality of opportunity between persons who share a relevant protected characteristic and persons who do not share it
 - d) Foster good relations between persons who share a relevant protected characteristic and persons who do not share it.

It is considered that the decision would have regard to this duty.

10. CONCLUSIONS

- 10.1 In summary, the principle of the development represents inappropriate development in the Green Belt. However, it is considered that very special circumstances exist, in this case the ability for this redevelopment to repair, restore and bring the existing grade II Listed Building back into use which clearly outweighs the harm to the Green Belt and any further identified harm set out in section 8 of this report. Furthermore the legal agreement will ensure that the restoration works are carried out prior to commencement of the new housing.
- 10.2 The proposed development is also considered to provide a suitable housing mix given the nature and location of the development. It is also recognised that the proposal would deliver some economic benefit. These are given moderate weight as benefits of the proposal. The proposal would also provide additional housing, recognising the council's current housing land supply position as detailed above, this too is given some weight as a benefit of the proposal.
- 10.3 The proposal would preserve the Listed Building and would ensure the long-term preservation of the building. This is considered to be a substantial benefit of the proposed development. In wider visual terms the proposal scheme is considered acceptable.
- 10.4 It is considered the application site is in a relatively unsustainable location which is considered to result in limited harm. The proposal does not raise any issues in terms of highway safety and or capacity. The proposal also provides suitable parking for the development and whilst it's noted that this would be above and beyond the recommended maximum standards given the site location this is considered to be justified.
- 10.5 The proposed development is not considered to raise any significant issues in terms of the amenities of the occupiers of surrounding units, including in terms of conflict of noise with the adjoining commercial businesses. The proposed development provides a suitable residential environment for future occupiers.
- 10.6 In terms of environmental considerations, the proposed development is considered to be acceptable with regard to flood risk and subject to conditions would provide suitable urban drainage. The proposal will provide suitable renewable and low carbon energy and subject to conditions would have a suitable relationship in terms of ecology and biodiversity. Contaminated land matters can be dealt with by a condition.
- 10.7 The relevant infrastructure provisions are also secured by way of planning obligation and/or conditions as necessary.
- 10.8 When applying the planning balance, it is considered that any harm caused from the proposed development; is outweighed by the benefits of the scheme. Accordingly, the application is recommended for approval subject to the following:

11. FORMAL OFFICER RECOMMENDATION

The CHDMBC be authorised to grant planning permission subject to the completion of a unilateral undertaking under the Town and Country Planning Act 1990 (as amended) to secure the following obligations:

A financial contribution of £44,271.5 is required towards SANG and a further £17,640 towards SAMM towards the Thames Basin Health Special Protection Area Avoidance/mitigation strategy

And the subject to the following planning conditions:

1. Standard three year time limit

The development for which planning permission is hereby granted must be commenced no later than the expiration of three years beginning with the date of this permission.

Reason: To comply with Section 51 of Part 4 of the Planning and Compulsory Purchase Act 2004.

2. Approved plans

The development hereby permitted shall not be carried out except in complete accordance with the approved the drawings as set out in the submitted "planning/listed Building Consent documents" ref 17/035/3.0/CW issue date 25.03.2022 and received by the Local Planning Authority on 25.03.2022

Reason: To ensure high quality design and to comply with Policy EE1 of the Runnymede 2030 Local Plan and guidance in the NPPF.

3. Implementation plan

The development shall be undertaken in accordance with the Proposed Site Plan- phasing (as set out in condition 2- approved plans) and the Delivery Programme Rev- PL dated 28 February 2022 or such other update document as submitted to and agreed in writing by the Local Planning Authority.

Reason: To ensure this phase/ parcel of redevelopment is undertaken in a suitable manner in order to secure the Very Special Circumstances and to comply with Policy EE1, EE3, EE4 and EE14 of the Runnymede 2030 Local Plan and guidance within the NPPF.

4. Removal of Permitted Development rights (Classes' A, B, D, E, F)

Notwithstanding the provisions of Classes A, B, D, E and F of Schedule 2, Part 1 and of the Town and Country Planning (General Permitted Development) Order 2015 (as amended), or any orders amending or re-enacting that Order with or without modification, no development following within the descriptions of Classes A, B, D, E and F shall be constructed or carried out to the dwelling houses hereby approved, without the prior written permission of the Local Planning Authority.

Reason: To ensure the openness of the Green Belt is protected and to ensure an acceptable form of development to and within the grounds of a Listed Building and to comply with Policy EE1, EE3, EE4 and EE14 of the Runnymede 2030 Local Plan and guidance within the NPPF.

5. Construction Transport Management Plan

Prior to commencement of any development (including demolition) a Construction Transport Management Plan, to include details of:

- (a) parking for vehicles of site personnel, operatives and visitors
- (b) loading and unloading of plant and materials
- (c) storage of plant and materials
- (d) programme of works (including measures for traffic management)
- (e) provision of boundary hoarding behind any visibility zones
- (f) measures to prevent the deposit of materials on the highway
- (g) before and after construction condition surveys of the highway and a commitment to fund the repair of any damage caused
- (h) on-site turning for construction vehicles

Shall be submitted to and approved in writing by the Local Planning Authority. The development shall be undertaken in accordance with the approved details for construction of the development.

Reason: in the interest of highway safety and to satisfy the Runnymede Local Plan (2030) policies Policy SD3: Active & Sustainable Travel, Policy SD4: Highway Design Considerations, Policy SD5: Infrastructure Provision & Timing, Policy SD7: Sustainable Design.

6. Construction and Environment Management Plan

Prior to commencement of any development (including demolition), a Construction and Environment Management Plan (CEMP) shall be submitted to and approved in writing by the Local Planning Authority.

This document shall detail how protected habitats and species, including woodland features will be protected from any adverse impacts as a result of construction. The CEMP should include adequate details including:

- a) Risk assessment of potentially damaging construction activities
- b) Practical measures to avoid and reduce impacts during construction
- c) Location and timing of works to avoid harm to biodiversity features
- d) Responsible persons and line of communication
- e) Use of protected fences, exclusion barriers and warning signs.

The development shall be undertaken in accordance with the approved details for construction of the development.

Reason: In the interest of protecting potential ecological value and species in the site as required by policy EE9 of the Local Plan

7. Tree Protection

Prior to commencement of any development (including demolition), and before any equipment, machinery or materials are brought on to the site, a revised tree protection plan (TPP) shall be submitted to and approved in writing by the local planning authority. The TPP shall be in accordance with BS5837:2012 - Trees in relation to design, demolition and construction, and shall show the approved layout. The protection shown on the plan shall be installed in strict accordance with the details of the submitted arboricultural method statement (AMS)

Reason: To ensure the retention of trees in the interests of the visual amenities of the area and to accord with Policy EE11 of the Local Plan.

8. Materials

- A. Prior to commencement, excluding site clearance, demolition and any internal structural repairs required to the main house, a detailed schedule and specification of the materials and finishes to be used (on a phased basis or otherwise) shall be submitted to and approved in writing by the Local Planning Authority. The details shall include:
- Brickwork (including bonding and mortar);
 - Cladding;
 - Windows and doors (including reveals and frames);
 - Soffits (as relevant);
 - Balconies and privacy screens (as relevant);
 - External guttering;
 - Roofing tiles;
 - Boundary treatments
 - Details of all rooftop structures including flues, satellite dishes, plant, lift overruns, cleaning cradles (as relevant);
 - Plant enclosures (as relevant)

Sample boards constructed on site showing the above as relevant shall be provided at the same time as an application is made.

- B. The development shall be carried out and retained in accordance with the approved details.

Reason: To enable the Local Planning Authority to control the development in detail in the interests of amenity of the Grade II Listed Building and to comply with Policy EE1, EE3 and EE4 of the Runnymede 2030 Local Plan and guidance within the NPPF.

9. Bat Mitigation

The development shall be undertaken in accordance with the recommendations set out the Method Statement based on the mitigation, compensation and enhancement actions presented within 5 Recommendations section of the Protected (Bat & Reptile) Species Survey Report received by the Local Planning Authority on the 23.11.2020.

Reason: To enhance the biodiversity of the site and protected species and to comply with Policies EE9, EE11 and EE12 of the Runnymede 2030 Local Plan and guidance within the NPPF.

10. Contaminated Land

- A. Prior to commencement of any development forming “Phase 2 – Below ground services, drive and parking courts and subbases” a detailed remediation scheme to bring the site to a condition suitable for the intended use by removing unacceptable risks to human health, buildings and other property and the natural and historical environment has been submitted to and approved in writing by the local planning authority. The scheme must include all works to be undertaken, proposed remediation objectives and remediation criteria, an appraisal and remedial options, proposal of the preferred option(s), a timetable of works and site management procedures. The scheme must ensure that the site will not qualify as contaminated land

under Part 2A of the Environmental Protection Act 1990 in relation to the intended use of the land after remediation.

- B. If found to be required, the remediation scheme shall be implemented in accordance with the approved timetable of works. Upon completion of measures identified in the approved remediation scheme, a verification report (validation report) that demonstrates the effectiveness of the remediation carried out must be submitted to the local planning authority.
- C. In the event that contamination is found at any time when carrying out the approved development that was not previously identified, it must be reported in writing immediately to the local planning authority and once the Local Planning Authority has identified the part of the site affected by the unexpected contamination, development must be halted on that part of the site.
- D. An assessment must be undertaken in accordance with the requirements of Condition (A) or otherwise agreed and where remediation is necessary, a remediation scheme, together with a timetable for its implementation must be submitted to and approved in writing by the Local Planning Authority in accordance with the requirements of Condition (B) in the form of a Remediation Strategy which follows the .gov.uk LCRM approach. The measures in the approved remediation scheme must then be implemented in accordance with the approved timetable. Following completion of measures identified in the approved remediation scheme, a validation (verification) plan and report must be submitted to and approved in writing by the Local Planning Authority in accordance with Condition.

Reason: To ensure that risks from land contamination to the future users of the land and neighbouring land are minimised, together with those to controlled waters, property and ecological systems and to ensure that the development can be carried out safely without unacceptable risks to workers, neighbours and other off-site receptors in accordance with guidance in the NPPF.

11. Archaeological work

Prior to commencement of any development forming “Phase 2 – Below ground services, drive and parking courts and sub bases” the applicant shall secure the implementation of a programme of archaeological work in accordance with a Written Scheme of Investigation which has been submitted by the applicant and approved by the Planning Authority. The development will be undertaken in accordance with any approved details.

Reason: To the interests of the archaeological potential and to comply with Policy EE3 and EE6 of the Runnymede 2030 Local Plan and guidance within the NPPF.

12. Surface water drainage scheme

Prior to commencement of any development forming “Phase 2 – Below ground services, drive and parking courts and sub bases” details of the design of a surface water drainage scheme have been submitted to and approved in writing by the Local Planning Authority. The design must satisfy the SuDS Hierarchy and

be compliant with the national NonStatutory Technical Standards for SuDS, NPPF and Ministerial Statement on SuDS. The required drainage details shall include:

- a) Detailed drainage design drawings and calculations to include: a finalised drainage layout that follows the principles set out in the approved drainage strategy detailing the location of drainage elements, pipe diameters, levels, and long and cross sections of each element including details of any flow restrictions and maintenance/risk reducing features (silt traps, inspection chambers etc.).
- b) Details of how the drainage system will be protected during construction and how runoff (including any pollutants) from the development site will be managed before the drainage system is operational.

Reason: To ensure the design meets the national Non-Statutory Technical Standards for SuDS and the final drainage design does not increase flood risk on or off site.

13. Landscaping

Notwithstanding the approved plans or any indication given otherwise, prior to commencement of any development forming “Phase 2 – Below ground services, drive and parking courts and sub bases” full details of hard and soft landscaping scheme (including any boundary treatments) and details of means of access to the communal amenity areas for occupants of the development (including people who require level access and wheelchair users) shall be submitted to and approved in writing by the Local Planning Authority.

This shall include a ‘schedule of undertaking’ the proposed works and samples of all hard surfacing, as well as a plan for the long terms management of the communal areas.

All approved landscaping details shall be undertaken and completed in accordance with the approved ‘schedule of undertaking.’

All approved landscaping works shall be retained in accordance with the approved details. If within a period of five years from the date of planting of any tree or shrub shown on the approved landscaping plan, that tree or shrub, or any tree or shrub planted in replacement for it, is removed, uprooted or destroyed or dies, or becomes seriously damaged or defective, another tree or shrub of the same species and size as that originally planted shall be planted in the immediate vicinity, unless the Local Planning Authority gives its prior written permission to any variation.

Reason: To ensure the development is adequately landscaped and to comply with Policy EE1, EE3, EE4 and EE14 of the Runnymede 2030 Local Plan and guidance within the NPPF.

14. Biodiversity net gain

Notwithstanding the approved plans or any indication given otherwise, prior to commencement of any development forming “Phase 2 – Below ground services, drive and parking courts and subbases” full details of biodiversity net gains presented within 5.2 section of the Preliminary Ecological Appraisal received by the Local Planning Authority on the 23.11.2020 shall be submitted to and approved in writing by the Local Planning Authority.

Reason: To enhance the biodiversity of the site and protected species and to comply with Policies EE9, EE11 and EE12 of the Runnymede 2030 Local Plan and guidance within the NPPF.

15. Renewable & Low Carbon Energy

Prior to commencement of any development forming “Phase 2 – Below ground services, drive and parking courts and sub bases”, full details of measures to incorporate sustainable design and CO2 reduction measures shall be submitted to and approved in writing by the Local Planning Authority. This should be based on the Energy Assessment prepared by QODA dated 10.09.2020 or such other details as agreed in writing by the Local Planning Authority. The development shall thereafter be undertaken in accordance with the approved details and maintained thereafter.

Reason: To ensure sustainable measures are incorporated into the development and to comply with Policy SD8 of the Runnymede 2030 Local Plan and guidance within the NPPF.

16. Drainage verification

Prior to the occupation of the development, a verification report carried out by a qualified drainage engineer must be submitted to and approved by the Local Planning Authority. This must demonstrate that the drainage system has been constructed as per the agreed scheme (or detail any minor variations), provide the details of any management company and state the national grid reference of any key drainage elements (surface water attenuation devices/areas, flow restriction devices and outfalls).

Reason: To ensure the Drainage System is constructed to the National Non-Statutory Technical Standards for SuDS.

17. Access

Prior to occupation, the proposed modified access to Holloway Hill shall be constructed and provided with visibility zones in accordance with the approved plans (condition 2) and thereafter the visibility zones shall be kept permanently clear of any obstruction over 1000mm high.

Reason: in the interest of highway safety and to satisfy the Runnymede Local Plan (2030) policies Policy SD3: Active & Sustainable Travel, Policy SD4: Highway Design Considerations, Policy SD5: Infrastructure Provision & Timing, Policy SD7: Sustainable Design.

18. Vehicle parking

Prior to occupation (on a phased basis or otherwise), the car parking spaces shall be laid out within the site in accordance with the approved plans (condition 2), and for vehicles to turn so that they may enter and leave the site in forward gear. Thereafter the parking and turning areas shall be retained and maintained for their designated purposes.

Reason: in the interest of highway safety and to satisfy the Runnymede Local Plan (2030) policies Policy SD3: Active & Sustainable Travel, Policy SD4:

Highway Design Considerations, Policy SD5: Infrastructure Provision & Timing, Policy SD7: Sustainable Design.

19. EVC Charging points

Prior to the occupation of the development, details of the proposed electric vehicle charging points (EVCPs), as shown on the approved plans, including details of how they will be managed, shall be submitted to and approved in writing by the Local Planning Authority. The approved EVCPs, consisting of 20% active and 80% passive charging points, shall be installed prior to occupation and shall be maintained in accordance with the approved details thereafter.

Such Electric Vehicle Charging point shall have a fast charge socket (current minimum requirements - 7 kw Mode 3 with Type 2 connector - 230v AC 32 Amp single phase dedicated supply).

Reason: in the interest of sustainable development and to satisfy the Runnymede Local Plan (2030) policies Policy SD3: Active & Sustainable Travel, Policy SD4: Highway Design Considerations, Policy SD5: Infrastructure Provision & Timing, Policy SD7: Sustainable Design.

20. Cycle parking

Notwithstanding the approved plans, prior to any occupation, full details of all cycle parking including locking/storage provision shall be submitted to and approved in writing by the Local Planning Authority. The approved arrangements shall be provided before any part of the development is first occupied and shall be permanently maintained thereafter.

Reason: In order to provide adequate bicycle parking and mobility scooter facilities at the site in the interest of reducing reliance on private car travel and ownership.

21. Refuse and recycling

Prior to occupation (on a phased basis or otherwise) details of the relevant refuse and recycling facilities further details of the lighting and access to the enclosure shall be submitted to and approved in writing by the Local Planning Authority. The approved arrangements shall be provided before any part of the development is first occupied and shall be permanently maintained thereafter.

Reason: To ensure a satisfactory standard of development as required by policy EE1 of the Local Plan.

Recommended Informatives:

1. CIL liability
The applicant is aware that the scheme is CIL liable upon commencement of the development.
2. Discharge of conditions application
The applicant(s) are advised that formal agreement with the Local Planning Authority can only be undertaken through an application for the discharge of conditions application. A decision on such applications can take up to 8 weeks. Such timeframes should be taken into account as part of the construction

process. This will be longer if applicant(s) wish to submit additional information and/or revisions amendments to overcome issues and concerns raised. The Local Planning Authority will expect agreements to extend the timeframe to consider discharge of conditions application where an applicant wishes to submit additional information and/or revisions amendments. Early engagement and pre-application discussions is encouraged to prevent lengthy delays.

3. Works to the Highway

The permission hereby granted shall not be construed as authority to carry out any works on the highway or any works that may affect a drainage channel/culvert or water course. The applicant is advised that a permit and, potentially, a Section 278 agreement must be obtained from the Highway Authority before any works are carried out on any footway, footpath, carriageway, verge or other land forming part of the highway. All works on the highway will require a permit and an application will need to be submitted to the County Council's Street Works Team up to 3 months in advance of the intended start date, depending on the scale of the works proposed and the classification of the road. Please see <http://www.surreycc.gov.uk/roads-and-transport/road-permits-and-licences/the-traffic-management-permit-scheme>. The applicant is also advised that Consent may be required under Section 23 of the Land Drainage Act 1991. Please see www.surreycc.gov.uk/people-and-community/emergency-planning-and-community-safety/floodingadvice.

4. Mud/debris on the highway

The developer is reminded that it is an offence to allow materials to be carried from the site and deposited on or damage the highway from uncleaned wheels or badly loaded vehicles. The Highway Authority will seek, wherever possible, to recover any expenses incurred in clearing, cleaning or repairing highway surfaces and prosecutes persistent offenders. (Highways Act 1980 Sections 131, 148, 149). 3) Accommodation works The developer is advised that as part of the detailed design of the highway works required by the above condition(s), the County Highway Authority may require necessary accommodation works to street lights, road signs, road markings, highway drainage, surface covers, street trees, highway verges, highway surfaces, surface edge restraints and any other street furniture/equipment.

5. Damage to the highway

Section 59 of the Highways Act permits the Highway Authority to charge developers for damage caused by excessive weight and movements of vehicles to and from a site. The Highway Authority will pass on the cost of any excess repairs compared to normal maintenance costs to the applicant/organisation responsible for the damage.

6. Statutory utility works

The developer would be expected to agree a programme of implementation of all necessary statutory utility works associated with the development, including liaison between Surrey County Council Streetworks Team, the relevant Utility Companies and the Developer to ensure that where possible the works take the route of least disruption and occurs at least disruptive times to highway users.

7. Landscaping

With reference to condition 13 (landscaping) details submitted need to include: a full tree planting plan including detail of planting and schedules, details of irrigation system within the site, including ground type of watering points.

Hard landscaping plans will include complete paving specification or various pavement elements, including thickness, colour etc.
Material samples should be provided as part of the condition
The landscaping proposal need to include reference to the suds/ drainage details

8. Biodiversity

With reference to condition 14 (biodiversity) details submitted need to include details of bat and bird boxes (suitable for swifts) and wildlife friendly planting, this will need to have regards for the details submitted to dela with landscaping.

9. Electric vehicle charging

With reference to condition 19 (EVC charging points) It is the responsibility of the developer to ensure that the electricity supply is sufficient to meet future demands and that any power balancing technology is in place if required. Please refer to: <http://www.beama.org.uk/resourceLibrary/beama-guide-to-electric-vehicle-infrastructure.html> for guidance and further information on charging modes and connector types.

With regards to the active points, the proposed method of payment for users should be specified. Additionally, the applicant will need to set out details of how EVCP's will be managed and maintained to meet the needs of intended users. The applicant should also address how parking spaces with EVCP's will be restricted for use by electric vehicles, when and how maintenance of EVCP will be carried out, and what procedures will be put in place to monitor EVCP use and trigger conversion of parking spaces from 'passive' to 'active' EVCP's.

Information regarding EV charging provision, capacity and future-proofing cabling/ducting, including opportunities for network upgrades to accommodate increased demand, should also be provided.

With regards to the passive charging points, a ground level cap should be installed at each location to indicate the location of the cables. It is sometimes necessary to ensure that the passive charge points have their own separate distribution boards.

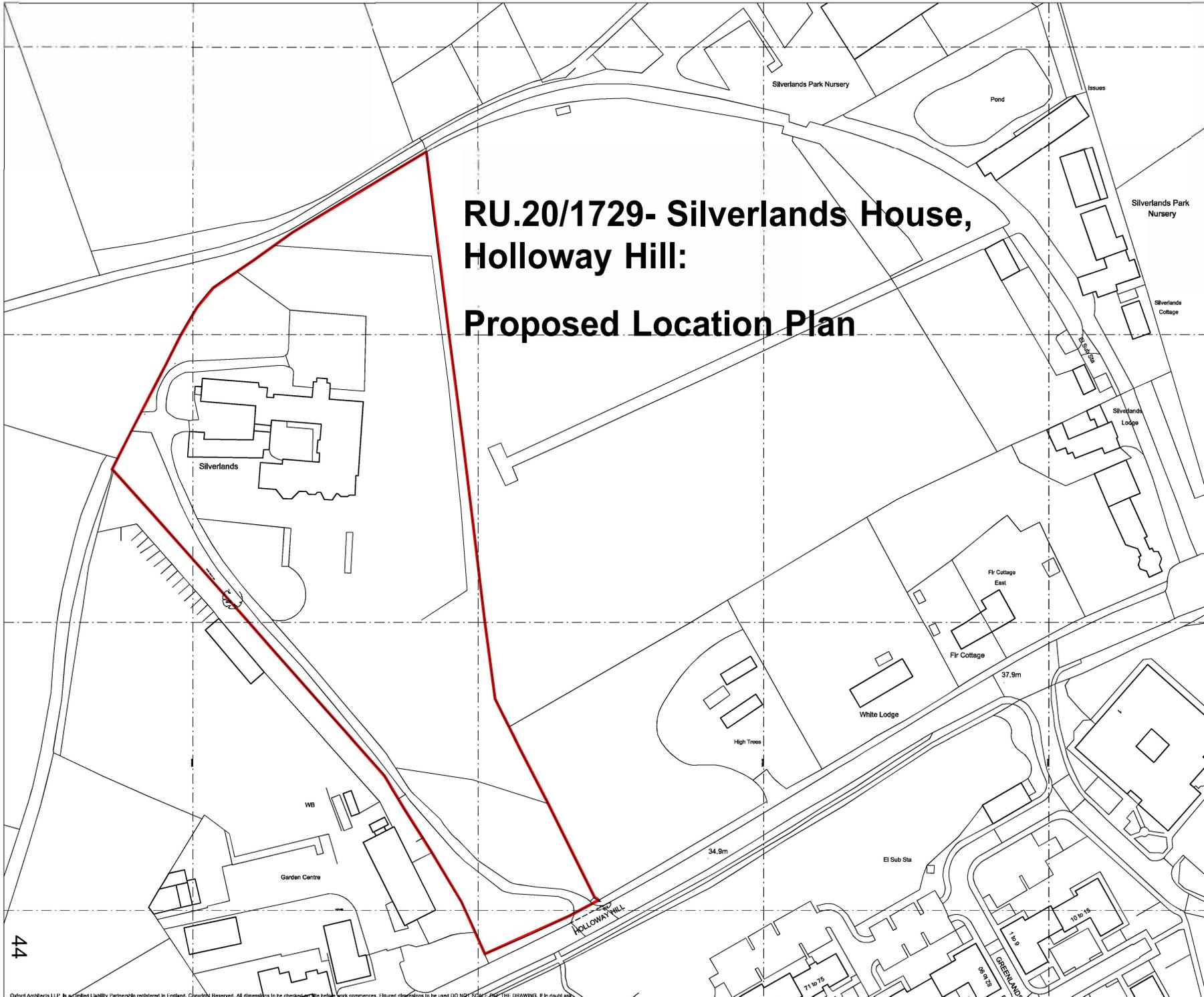
10. Refuse and recycling stores

With reference to condition 21 (refuse and recycling stores) details submitted need to demonstrate that each bin store needs to be able to fit at least 2-3 1100L bulk bins with room for the bins to be pulled out. The stores need to be well lit, with doors that open outwards and are sturdy enough to hold themselves open They need to have a dropped curve or flat surface for the bins to be pulled out There must be enough room for a turning point for the vehicle.



0 40m
1:1250 @ A3

RU.20/1729- Silverlands House, Holloway Hill: Proposed Location Plan



Rev	Description	Date
Partner CW	Drawn DG	Date Jan 2016

Project
Silverlands

Title
Site Location

Drawing Reference
17035-OA-XX-01-P-00

Drawing No 01	Revision	Status
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Scale
1:1250 @ A3

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Key

- Gas pipeline
- Tree removed
- Electric car charging point
- Bin & bike storage

RU.20/1729- Silverlands House, Holloway Hill:

Proposed Site Plan



M	Gatehouses & pavilion amended	25/09/22
L	Planning layout adjustments in line with planners comments	23/06/21
K	Gatehouse roof plans amended to reflect latest proposed plans	08/10/20
J	Finalist not used. Gatehouse and Pavilion roof plans amended to reflect latest proposed plans	09/10/20
H	Tree removed amended	15/09/20
G	Bin & bike storage line amended according to the client's requirements	04/09/20
F	Finalists following pre-app meeting	21/08/19
D	Initial amendments	29/01/19
C	Pavilion and gatehouse 2 added	19/01/18
B	Lodges added and plans revised	10/01/17
A	Lodges revised final plan	12/12/17
Rev	Drawn	Date
	CW	DD
		June 2017

Project: **Silverlands**

Title: **Proposed Site Plan**

Drawn/Reference: **17035-OA-XX-87-P-00**

Drawing No: 87	Revision: M	Status: ISO
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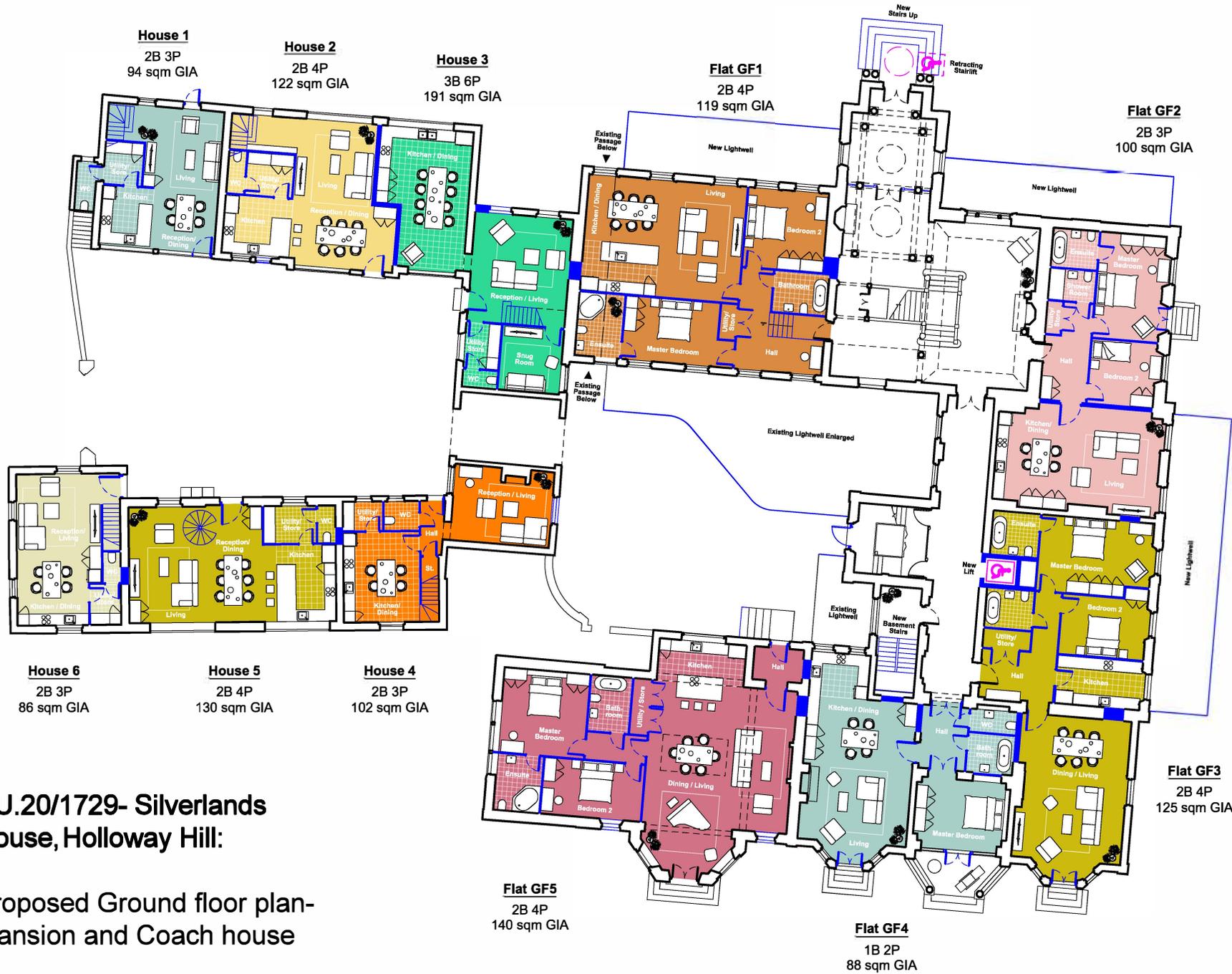
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OXFORD ARCHITECTS

100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200

45

- Key**
- Existing elements to be retained
 - Doors to be retained
 - Proposed elements



P7	House 4 GIA revised; key amended.	12/10/20
P8	Flat GF5 revised.	21/09/20
P5	Flat GF5 revised.	14/08/20
P4	Flat GF1, GF3, GF4 & GF5 revised; Basement stairs relocated.	02/09/20
P3	General amendments.	27/08/20
P2	Flat GF5 revised.	29/01/19

Rev	Description	Date
CW	Draw	Oct 2017
MK	Draw	

Project
Silverlands

Title
**Ground Floor GA Plan
Including Stables &
Coach House**

Drawing Reference
17035-OA-XX-121-P-00

Drawing No	Revision	Status
121	P7	S0

Scale
1:50 @ A1 & 1:100 @ A3

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**RU.20/1729- Silverlands
House, Holloway Hill:**

**Proposed Ground floor plan-
Mansion and Coach house**

Key

-  Existing elements to be retained
-  Doors to be retained
-  Proposed elements



Flat FF2
3B 5P
153 sqm GIA

Flat FF3
2B 4P
127 sqm GIA

Rev	Description	Date
P6	House 4 GIA revised: key amended.	12/10/20
P5	House 4 & 5 revised.	21/09/20
P4	Flat FF1, FF3 & FF4 revised.	02/09/20
P3	General amendments.	27/08/20
P2	Flat FF5 omitted, Flat FF3 and FF4 revised.	29/01/19

Partner	Drawn	Date
CW	MK	Oct 2017

Project
Silverlands

Title
First Floor GA Plan
Including Stables &
Coach House

Drawing Reference
17035-OA-XX-122-P-01

Drawing No	Revision	Status
122	P6	S0

Scale
1:50 @ A1 & 1:100 @ A3

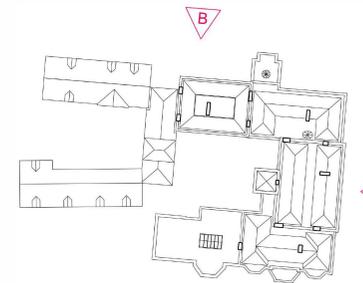
**RU.20/1729- Silverlands
House, Holloway Hill:**

**Proposed First floor plan-
Mansion and Coach house**



ELEVATION A

KEY (plan not to scale)



MATERIALS KEY

- ① Main house brickwork : to be cleaned with JOS Cleaning System and repointed with lime based mortar in selected areas.
- ② Main house existing stone and cement based render details : to be cleaned with JOS Cleaning System
- Coach house and stables painted brickwork : paint to be removed with DOFF Cleaning System, joints to be repointed with lime based mortar.
- ④ Painted timber sash windows (all existing windows to be retained, repaired or replaced if necessary).
- ⑤ Painted steel casement windows (all existing windows to be retained, repaired or replaced if necessary).
- ⑥ Conservation style rooflights.
- ⑦ Spanish slate tiles roof.
- ⑧ Re-created balustraded parapets & architectural details in stone.
- ⑨ Re-created decorative chimney stacks (stack rendered, base & capping in stone).
- ⑩ Existing lead gutters.
- ⑪ New metal gutters & down pipes.
- ⑫ Timber doors (to be retained, repaired or replaced if necessary).

P2 Materials key added 08/10/20

P1 Original balustrades and chimney stacks reinstated, roofrevised 21/09/20

Rev	Description	Date
Drawn	AW	Oct. 2019

Project
Silverlands

Title
**Proposed Elevations
Sheet 1**

Drawing Reference
17035-OA-XX-140-E-00

Drawing No	Revision	Status
140	P2	

Scale
1:100 @ A1 & 1:200 @ A3



ELEVATION B

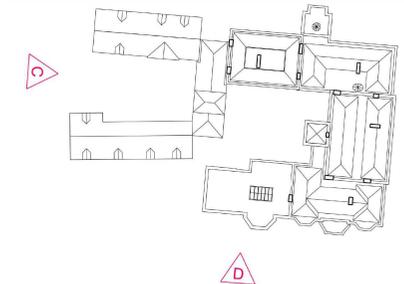
RU.20/1729- Silverlands House, Holloway Hill:

Proposed Elevations (North and East)- Mansion and Coach House



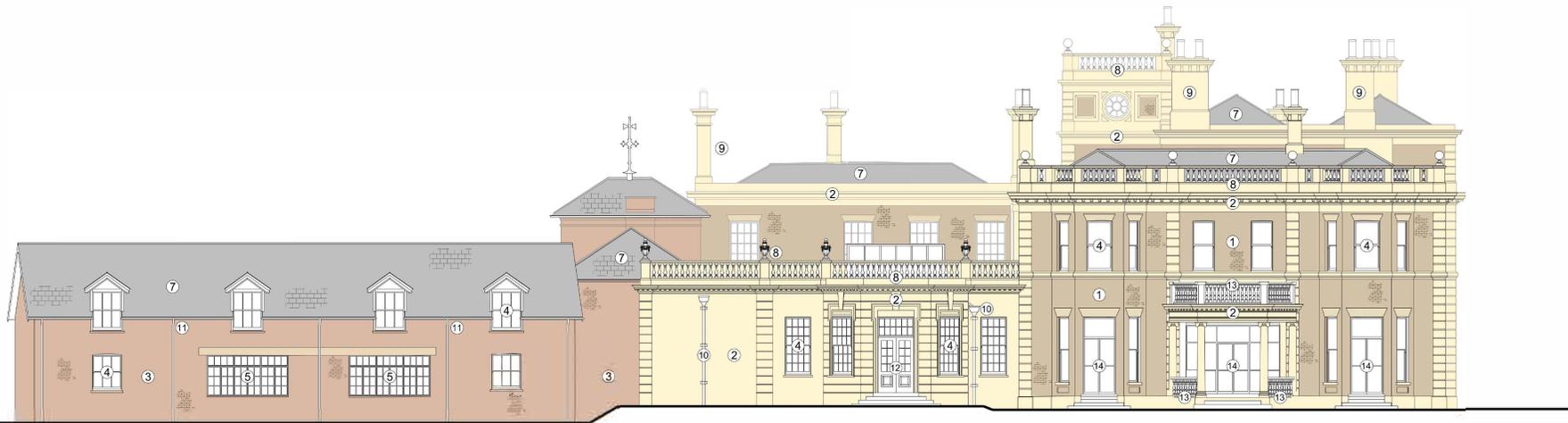
ELEVATION C

KEY (plan not to scale)



MATERIALS KEY

- ① Main house brickwork : to be cleaned with JOS Cleaning System and repointed with lime based mortar in selected areas.
- ② Mainhouse existing stone and cement based render details : to be cleaned with JOS Cleaning System
- Coach house and stables painted brickwork : paint to be removed with DOFF Cleaning System, joints to be repointed with lime based mortar.
- ④ Painted timber sash windows (all existing windows to be retained, repaired or replaced if necessary).
- ⑤ Painted steel casement windows (all existing windows to be retained, repaired or replaced if necessary).
- ⑥ Conservation style roof lights.
- ⑦ Spanish slate tiles roof.
- ⑧ Re-created balustraded parapets & architectural details in stone.
- ⑨ Re-created decorative chimney stacks (stack rendered, base & capping in stone).
- ⑩ Existing lead gutters.
- ⑪ New metal gutters & down pipes.
- ⑫ Timber doors (to be retained, repaired or replaced if necessary).
- ⑬ Existing painted timber balustrade to be restored.
- ⑭ Timber glazed double doors (to be retained, repaired or replaced if necessary).



ELEVATION D

P2	Materials key added.	08/10/20
P1	Original balustrades and chimneys added, roofs revised.	21/09/20
Rev	Description	Date
CW	AW	Oct. 2019

Project
Silverlands

Title
Proposed Elevations Sheet 2

Drawing Reference
17035-OA-XX-141-E-00

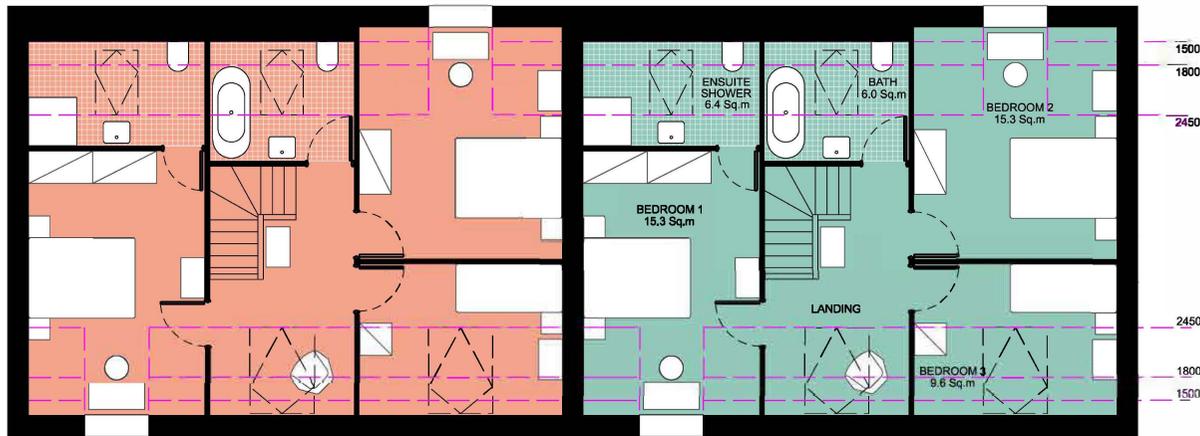
Drawing No	Revision	Status
141	P2	

Scale
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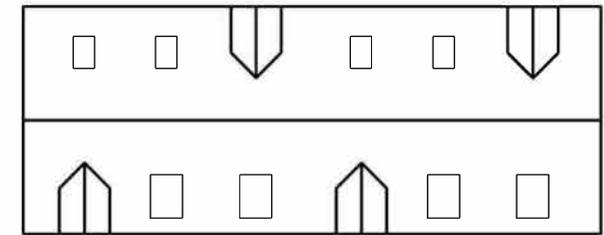


RU.20/1729- Silverlands House, Holloway Hill:

Proposed Elevations (North and East)- Mansion and Coach House

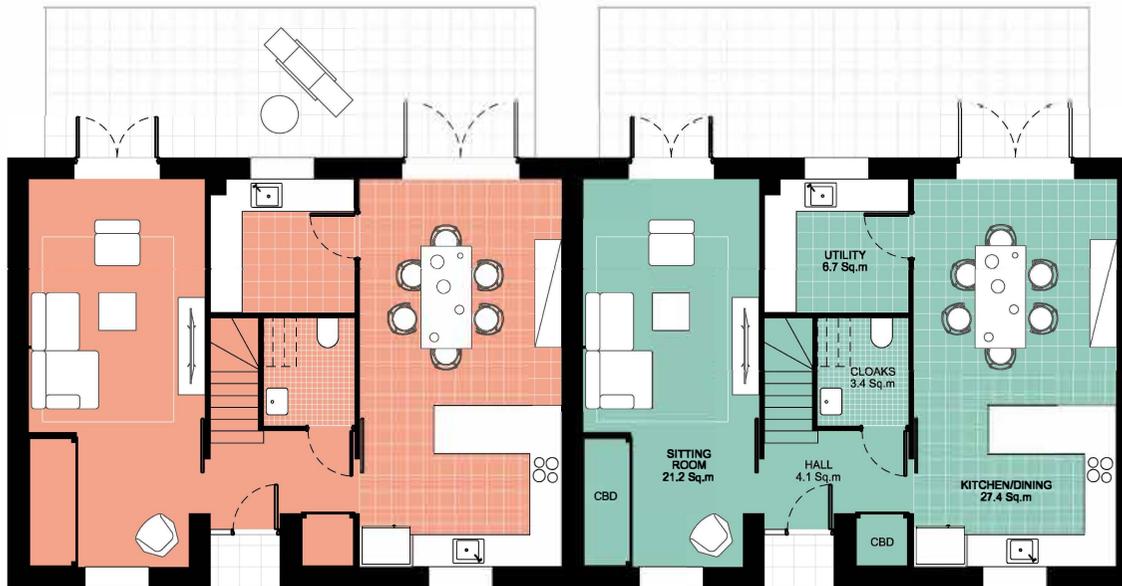


PROPOSED - FIRST FLOOR PLAN



PROPOSED - ROOF PLAN

1:100 @ A1 0 4m
1:200 @ A3



PROPOSED - GROUND FLOOR PLAN

RU.20/1729- Silverlands House, Holloway Hill:

Proposed floor plan- Gate House

P3	New proposal (stable-style)	25/02/22
P2	New proposal	23/08/21
P1	Preliminary Issue	06/10/20
Rev	Description	Date
Partner	Drawn	Date
CW	RB	October 2020

Project
Silverlands

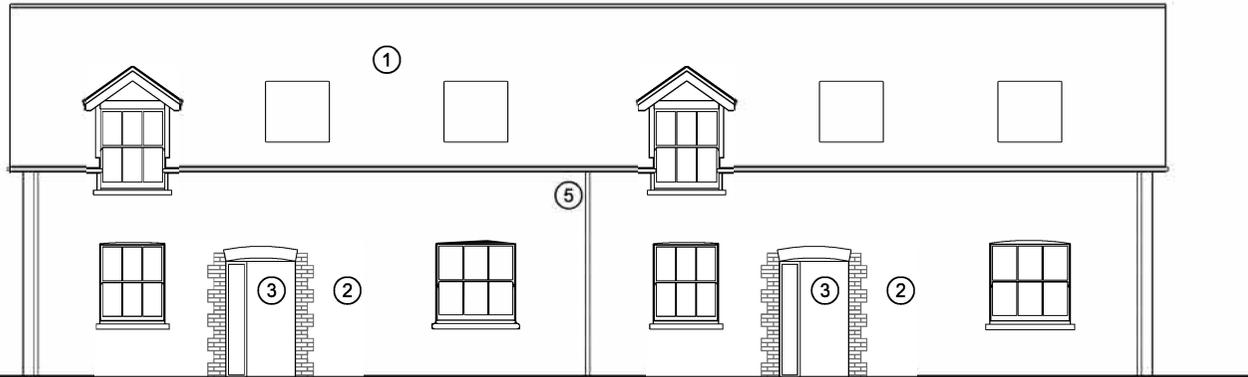
Title
Proposed Gatehouse Plans

Drawing Reference
17035-OA-SK020

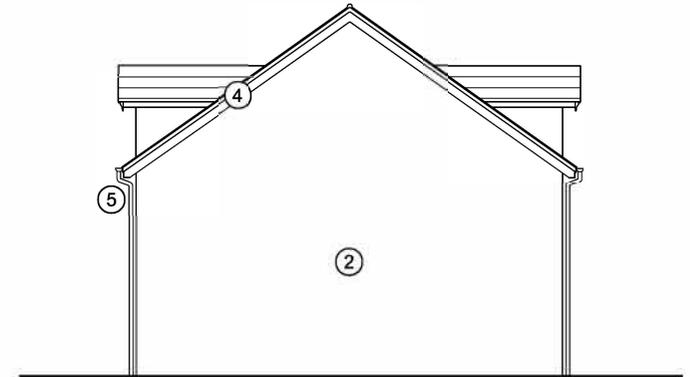
Drawing No	Revision	Status
SK020	P3	S0

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RU.20/1729- Silverlands House, Holloway Hill: Proposed Elevations- Gate House



PROPOSED - FRONT ELEVATION



PROPOSED - SIDE ELEVATION

MATERIALS KEY (to match existing coach house)

1. Slate tiles roof
2. Brickwork (color conditioned)
3. Painted timber doors and windows
4. Painted timber fascias
5. Metal gutters and down pipes

Precedent - Existing coach house (paint to be removed)



PROPOSED - REAR ELEVATION

P3	New proposal (stable-style)	25/02/22
P2	New proposal	23/06/21
P1	Preliminary issue	06/10/20
Rev	Description	Date

Partner	Drawn	Date
CW	RB	October 2020

Project
Silverlands

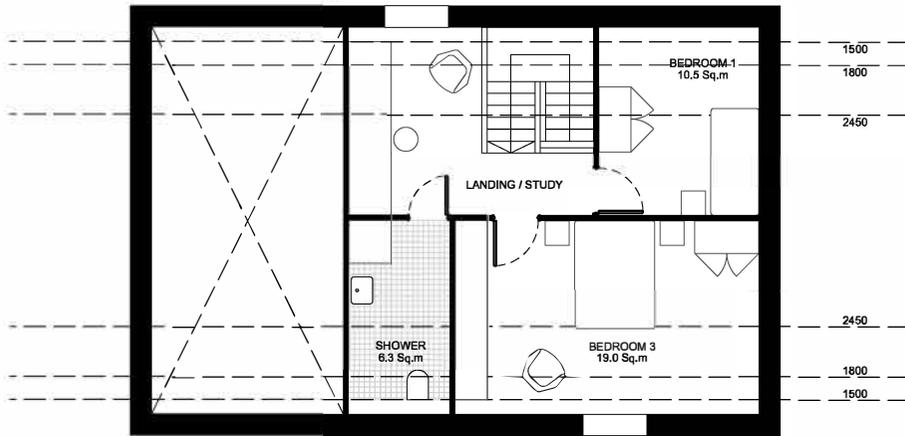
Title
**Proposed Gatehouse
Elevations**

Drawing Reference
17035-OA-SK021

Drawing No	Revision	Status
SK021	P3	S0

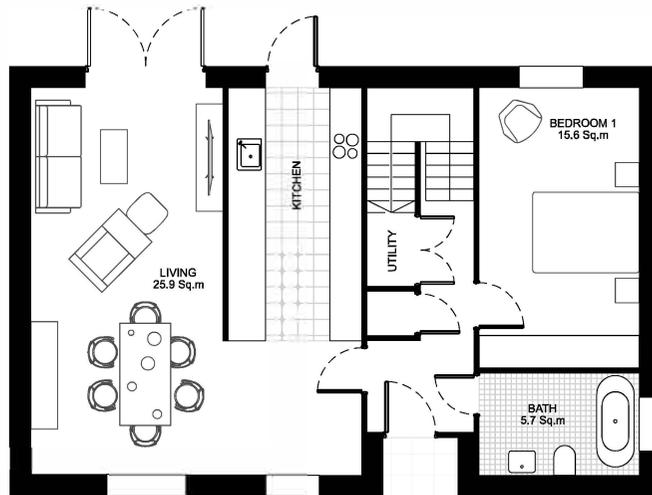
Scale
VARIES





RU.20/1729- Silverlands House, Holloway Hill: Proposed Floor plans- The Pavilion

PROPOSED - FIRST FLOOR PLAN



PROPOSED - GROUND FLOOR PLAN

P2	New proposal	23/06/21
P1	Preliminary issue	06/10/20
Rev	Description	Date

Partner	Drawn	Date
CW	RB	October 2020

Project
Silverlands

Title
**Proposed Pavilion
Plans**

Drawing Reference
17035-OA-SK010

Drawing No	Revision	Status
SK010	P2	

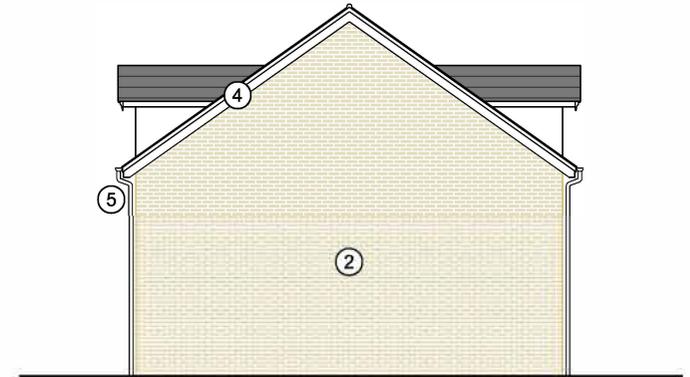
Scale
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RU.20/1729- Silverlands House, Holloway Hill:

Proposed Elevations- The Pavilion



PROPOSED - FRONT ELEVATION



PROPOSED - SIDE ELEVATION

MATERIALS KEY (to match existing coach house)

1. Slate tiles roof
2. Brickwork (color conditioned)
3. Painted timber doors and windows
4. Painted timber fascias
5. Metal gutters and down pipes



PROPOSED - REAR ELEVATION

Precedent - Existing coach house (paint to be removed)



P2	New proposal	23/06/21
P1	Preliminary Issue	06/10/20
Rev	Description	Date

Partner	Drawn	Date
CW	RB	October 2020

Project
Silverlands

Title
Proposed Pavilion Elevations

Drawing Reference
17035-OA-SK011

Drawing No	Revision	Status
SK011	P2	

Scale
VARIES

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